City of Plymouth Plan Commission

Members: Please notify us if you are unable to attend the meeting.

Chairman; Mayor Don Pohlman

Members:

Jane Meyer
Jeremy Schellin
Greg Hildebrand
Ron Nicolaus
John Wyatt
Justin Schmitz

The City of Plymouth Plan Commission will have a meeting on **Thursday, March 6, 2025 at** 6:00 PM in **Room 305**, City Hall, and Plymouth, WI.

The agenda will be as follows:

- **1.)** Approval of Minutes from February 6, 2025.
- **2.) Public Hearing:** A public hearing to take comment on a conditional use permit application for the following:
 - a. 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding the construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein (enclosure)
- 3.) Conditional Use Permit Seeking Approval: 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding the construction of two multifamily dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein (enclosure)
- **4.) Site Plan Seeking Approval;** 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding proposed site plan improvements and construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over. North Town Partners/Merklein (enclosure)
- **5.) Ordinance Amendment Seeking Recommendation:** Modifications of Section 13-1-103 and Section 13-1-106 regarding wall sign height restrictions and ground signs in multifamily residential districts. Johnston (enclosure)
- **6.)** Communication Letters, E-mails, or reports Related to the Plan Commission (Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderpersons)

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City of Plymouth ADA Coordinator Leah Federwisch, located in the Plymouth Utilities office at 900 County Road PP, Plymouth, WI or call 920-893-3853

City of Plymouth Plan Commission

UNOFFICIAL MINUTES FEBRUARY 6, 2025

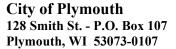
Mayor Pohlman called the meeting to order at 6:00 PM on February 6, 2025. The following members were present: Jane Meyer, Jeremy Schellin, Greg Hildebrand, Ron Nicolaus, John Wyatt, and Justin Schmitz. Also present: City Administrator/Utilities Manager Tim Blakeslee, Assistant Administrator/Community Development Director Jack Johnston, Fire Chief Ryan Pafford, and City Clerk/Deputy Treasurer Anna Voigt.

- **1.) Approval of Minutes from January 9, 2025:** Motion was made by Nicolaus/Schellin to approve the minutes. Upon the call of the roll, all voted aye. Motion carried.
- 2.) Site Plan Seeking Approval; 3424 County Road PP, Lawn Boy Inc. (dba The Toro Company), for the installation of a 900 square foot smoking shelter.: Jared Voskuil from A. Chappa Construction explained that they are looking for approval for a 900 square foot smoking shelter at Toro. Pohlman asked if there are any staff concerns. Johnston stated there are no concerns from staff. The property is zoned properly, wetlands exist along the east side of the driveway off of CTH PP. There is also a small pond located on that portion of the property. There are no concerns of floodplain. Both Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns. Motion was made by Wyatt/Nicolaus to approve the site plan at 3424 County Rd PP, The Toro Company for the installation of a 900 sq ft smoking shelter. Upon the call of the roll, all voted aye. Motion carried.
- 3.) Concept Plan Seeking Feedback; 5874 N. Pleasant View Rd, Nass Builders LLC., regarding a concept plan for a condominium development and possible future subdivision plat. Andrew Nass from Nass Builders LLC explained that he is presenting a concept of building six-building duplexes off of N. Pleasant View Rd. Pohlman asked if there were any concerns from the staff. Johnston explained the condo shows 15 feet in the rear yard setback so some adjustments would have to be made on the site plan, are some floodplain and wetland maps showing a small encroachment of wetlands. Johnston also noted there is a small stream on the site plan. Staff does recommend conducting a wetland delineation if there hasn't been a recent one on file. Also, a rezone and condo plat process would have to be done. Nass stated Hartland Environmental would be doing the delineation. Pohlman asked if there would be a private road through the development. Nass stated yes there is already curb cut for a private drive. Chief Pafford stated that he has talked with Nass about the minimum width a private drive needs to be. Hildebrand asked Nass if by the time site plan comes back to the commission all the things talked about will be taken care of? Nass stated that before resubmitting the wetland delineation would be done, mapping, and storm water retention he would work with the City to take care of. Schmitz asked if the concept would be the same side by sides as the ones on Hummingbird. Nass stated that they probably won't be as big, but the same idea 1500 sq. ft., two bedrooms attached garages. Blakeslee asked what the timing might be from for phase one, two and three? Nass stated that condos would be phase one. Pohlman stated that an important thing to do is to get the drainage size correctly so you only have to do it once for the whole area. Nass stated he will be working with Rodger Storm to have everything hashed out so there are no ponds on Pleasant View. Schellin asked if he

considered routing the private road from the condos to the public roads. Nass stated that he decided to go with a private road for future buyers, thinking that it would make it more private and less traffic flow. Nicolaus asked if the county had been contacted. Johnston stated that he contacted the County to see if there were any permits in regard to wetlands. Since it is in the City they didn't have any permits, it would be the City's responsibility. Nicolaus noted that the Tallgrass subdivision there is no on street parking. Johnston stated that staff would work with Nass on completing the list of things talked about before coming back to Plan Commission for a site plan review.

4.) Communication – Letters, E-mails, or reports Related to the Plan Commission (Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderpersons): Blakeslee stated that Wangard is continuing their development.

Motion was made by Nicolaus/Schmitz to adjourn the meeting. A unanimous aye vote was cast. Motion carried.





Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

DATE: February 28, 2025

TO: Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

RE: Conditional Use Permit Seeking Approval: 2831 Eastern Avenue, Plankview

Green Development, LLC (dba North Town Partners) regarding the construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein

(enclosure)

Site Plan Seeking Approval; 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding proposed site plan improvements and construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over. North Town Partners/Merklein (enclosure)

Background:

North Town Partners, formerly Van Horn Development, has submitted a conditional use permit and site plan review application for a new 55+ and over multi-family residential development. The project site is located directly south of Scooter's Coffee, Jimmy John's, and Advance Auto Parts and would have access off of a shared driveway south of the Eastern Avenue and Carr Road intersection.

The property originally existed as two distinct parcels which have since been merged into one parcel. In order to prepare the site for the project, the applicant sought a rezone and comprehensive plan amendment for both parcels in late 2024 and early 2025 to obtain R-6 zoning on both parcels as R-6 is the only residential zoning district that allows the number of residential units they are requesting. Both parcels also needed consistent zoning to be merged. The final rezone and comprehensive plan amendment was approved at the Common Council meeting on January 14, 2025. This allows the applicants to move forward with a site plan and conditional use permit review for this project.

The applicants have indicated that the project will be completed in phases, with the initial development (Phase 1) consisting of two three-story multi-family residential buildings. Building one will contain 54 units and building two will contain 51 units. The third residential building located on the property's north side is not included in Phase 1 of the development plan. In order to construct the second phase of the project, the applicants will have to come back to the Plan Commission for an additional site plan review, a TID amendment, and a conditional use permit amendment.

Comprehensive Plan/Zoning/Setbacks:

In total, the property is approximately 11.06 acres and is vacant with wetlands throughout the property. As noted above, the property recently went through comprehensive plan and rezoning approvals in order to conform with zoning code and allow this project to move forward. The proposed project conforms with the City's Comprehensive Plan for the area.

The property has R-6 High Density Multi-Family Residential District zoning. R-6 allows multiple-family dwellings between 29 to 56 dwelling units per building through a conditional use permit per Plymouth Municipal Code 13-1-28(c)(4). The buildings proposed at this time are 51 units and 54 units respectfully, which are allowed in R-6 through a conditional use permit only.

City staff has provided the zoning matrix below that indicates no issues with the site plan in respect to setbacks in R-6, building heights, lot coverage, and lot width.

ZONING CONSISTENCY MATRIX				
	Required	Provided (Both Phases)		
Zoning	R-6	R-6		
Minimum Frontage	60'	60' along Eastern Avenue		
Maximum Lot Coverage of All Buildings (including phase 2)	50%	13.2%		
Minimum Lot Width at Building Line	100'	>300'		
Minimum Front Yard Setback	30'	30' (phase 2 building)		
Minimum Side Yard Setback				
Principal Building	10'	30' eastern boundary		
Accessory Building	5'	n/a		
Minimum Rear Yard Setback	25'	>200'		
Maximum Height Principal Structures	56'	54'6' for east building 53'9" for west building		

Residential Unit Sizes:

The units will range between one and three bedrooms. One-bedroom units are approximately 744 square feet, two-bedrooms range between 934 square feet and 1,091 square feet, and the three-bedroom units are approximately 1,324 square feet, R-6 zoning requires an "average of 600 square feet per dwelling unit on any one floor of a multi-family dwelling except that no individual unit shall have floor space of less than 500 square feet on any one floor." The provided unit sizes for this development are permissible by code.

Parking/Refuse/Pickleball:

All buildings will have underground parking for residents in addition to surface parking lot spaces for residents and visitors. The submitted site plan indicates Phase 1 of the development (southern two buildings) will contain 230 parking spaces (120 surface parking spaces and 110 underground parking spaces) Phase 2 of the development currently contains 27 additional surface parking lot spaces and 50 underground parking spaces. City Code requires a minimum of 1.5 spaces per dwelling unit in R-6 meaning that Phase 1 would require 156 total parking spaces. The submitted site plan indicates that Code requirements for parking are met for Phase 1. When including Phase 2 of the development, City Code would require 234 parking spaces. The submitted site plan appears to be in adherence with code requirements for off-street parking.

Waste enclosures will be located internally to the buildings with no exterior enclosures. The applicant will be responsible for finding suitable refuse and recycling collection for future residents. A pickleball court is also proposed in the center of the development for residents to utilize.

The submitted lighting plan shows the installation of nine (9) 23' tall light poles as well as two (2) 12' wall sconces on the north side of the Phase 1 buildings at the underground garage entrances. The lighting plan shows very minimal light spillage on the northwestern and northeastern boundaries of the parcel. The light spillage is not adjacent to residential neighbors. City code does not require complete light containment and the submitted plan appears to mitigate that as much as possible. Staff has no concerns with the lighting plan.

The submitted landscaping plan calls for the installation of a combination of deciduous and evergreen trees and bushes. Specifically, the landscaping plan calls for the installation of 27 evergreen trees with a 6' height at the time of planting. The deciduous trees will be installed at a 2" caliper width and the plan calls for installation of seven of those trees. Many of the trees are planned to be planted on the west side of the parcel to help screen future residences from the back of the Pick-n-Save building to the west. Other plantings are proposed throughout the parking lot area to add character and break up the pavement. Shrub plantings are mainly proposed in front of the eastern most building as a design element and to transition from the parking lot to the residences.

Access:

The parcel is a flag lot with 60' of frontage along Eastern Avenue that is currently used as a shared driveway to connect motorists to Advance Auto Parts, Jimmy John's, and Scooter's Coffee to the west and the Bell Bank Mortgage building to the east.

Traffic Impact Analysis/Eastern Avenue & Carr Road Intersection:

City Code requires a traffic impact analysis for any development proposing 100 or more dwelling units or a development that requires conditional use approval. As the development will ultimately contain over 150 residential units, a TIA has been submitted as required by Code.

The TIA indicates that a traffic signal is not warranted for the development, though the City will discuss the option of a traffic signal with the applicant as part of the developer's agreement for the TID as future growth is anticipated in the city. The TIA is being reviewed by Kapur Engineering and their findings will be provided to the Plan Commission should they be available by the meeting date. Initial review comments are included in the review letter from DPW Director Austin in Attachment III.

Stormwater Report/Wetlands/Erosion Control:

A good portion of the property is within a wetland. The applicant has submitted a Stormwater Report and wetland delineation conducted in September of 2019. The wetland delineation map indicates that the proposed development will not encroach on existing wetlands on site, with the exception of the driveway entrance to the development on the northeast corner of the property. However, that portion of wetland (approximately 1,931 square feet) lacked a wetland history prior to August 1, 1991, and fulfills all artificial wetland exemption standards. Therefore, it is exempt from state wetland regulations per Wisconsin DNR Wetland Exemption Specialist Ryan Pappas (letter and map attached).

The full stormwater report is available to Plan Commissioners upon request. It is nearly 500 pages so it is not included in the packet materials. DPW Director Austin noted the proposed stormwater management plan complies with city requirements. The developer must submit a stormwater maintenance agreement for the detention basin to ensure long-term compliance with maintenance responsibilities. City has sent a draft of the agreement to Excel Engineering. The full DPW review letter is attached as Attachment III.

Plymouth Fire Department Review:

The application materials were also sent to the Department of Public Works and Plymouth Fire Department for review. Fire Chief Pafford noted an agreement on fire department access, electric vehicle charging locations, and an elevator suitable to accommodate an ambulance cot and 2-3 personnel should be included as conditions for approval. The review letter indicated the proposed hammerhead turnaround on the southern Page of the site plan should allow fire department

vehicles to safely maneuver with the proposed site. The full review letter is attached as Attachment III.

TID #7:

2831 Eastern Avenue is included in TID #7, created on September 24, 2024. TID #7 is a Mixed-Use District comprising approximately 246.47 acres in the eastern part of the City. As a mixed-use TID, no more than 35% of the district can consist of newly platted residential properties. Phase 1 of 2831 Eastern Avenue was designated as a site for newly platted residential development in the TID #7 project plan. Therefore, residential development is permitted at this site without requiring an amendment to the TID project plan.

Phase 2 of 2831 Eastern Avenue would require a TID #7 amendment to be approved by the Common Council and Joint Review Board before residential construction can proceed on this parcel. This is necessary because reclassifying the parcel as Residential would exceed the 35% residential threshold permitted in TID #7.

If a TID development incentive is requested, the developer must collaborate with City staff on a pro forma review through Ehlers and enter into a development agreement. Approval of any such agreement is solely at the discretion of the Common Council and requires their review and approval. Additionally, any development incentive must satisfy the "but for" test, meaning the development would not occur—or not occur in a manner that serves the City's best interests—without the use of TID Funds.

Conditional Use Permit Standards for Approval:

Multiple-family dwellings between 29 to 56 dwelling units per building are listed as a conditional use in the R-6 district. In making a motion, any decision to approve or deny a conditional use permit application must be supported by substantial evidence. The Plan Commission shall address the following, as no application for a conditional use shall be granted by the Plan Commission unless the following conditions are present as noted in PMC 13-1-28(f)(1):

- That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district, and as recommended in the City of Plymouth Comprehensive Plan.
- That adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- That the conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.
- That the proposed use does not violate floodplain regulations governing the site.
- That, when applying the above standards to any new construction of a building or an addition to an existing building, the plan commission and common council shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objective of the zoning district.
- That the plan commission and common council shall also evaluate the effect of the proposed use upon:
 - 1. The maintenance of safe and healthful conditions.
 - 2. The prevention and control of water pollution including sedimentation.
 - 3. Existing topographic and drainage features and vegetative cover on the site.
 - 4. The location of the site with site with to floodplains and floodways of rivers and streams.

- 5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
- 6. The location of the site with respect to existing or future access roads.
- 7. The need of the proposed use for a shoreland location.
- 8. Its compatibility with uses on adjacent land.
- 9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

Draft Conditions for Permit:

City Staff and City Attorney Fieber have provided nine (9) conditions to be adhered to within the conditional use permit and have supplied the draft conditions to the applicant for comment. The draft conditions are listed below for Plan Commission review and consideration:

- 1. The Conditional Use Permit (CUP) is issued to Plankview Green Development LLC (dba North Town Partners) for the development, use, and location approved by the City of Plymouth Plan Commission on March 6, 2025 for Phase 1 of their development.
- 2. The issuance of this Conditional Use Permit is contingent on a Developer's Agreement being approved by the City of Plymouth, Wisconsin Common Council and recorded at the Sheboygan County of Register of Deeds Office.
- 3. The use of the property shall be for multi-family dwelling units of residents age 55 and over. If the owner would like to change this, a CUP amendment would be required to be approved by the City of Plymouth Plan Commission.
- 4. Building Plans: Building Plans, building materials, and building colors shall comply with the architectural renderings provided to the Plan Commission at their March 6, 2025 meeting. No building or grading can be commenced until property permits have been granted by the City of Plymouth Public Works Department and City Building Inspector.
- 5. Plymouth Fire Department: The sprinkler system layout for all building shall be provided to and approved by the Plymouth Fire Department prior to occupancy permits being issued. A map of any and all electrical vehicle (EV) charging stations shall be provided to the Plymouth Fire Department. At least one elevator in each residential building should be built to accommodate at least one 7-foot cot as well as 2-3 emergency responders. The applicant must submit their elevator design and location to Plymouth Fire Department for review and approval.
- 6. Site Plans: Site development shall comply with the engineering plans provided to the Plan Commission at their March 6, 2025 meeting, including site layout, grading, lighting and landscaping. City staff will confirm compliance with the approved plans prior to final occupancy permits being issued.
- 7. Phase 2 of the development shall require an additional site plan review by the Plymouth Plan Commission, a TID #7 amendment, development agreement amendment, and a conditional use permit amendment being approved.
- 8. Future ground sign location and sign renderings shall be approved by the Plan Commission through the site plan review process.
- 9. The CUP is valid and in effect so long as the provisions found in PMC 13-1-70 are satisfied.

Public Notices:

Conditional Use Permit applications require a class 2 notice in the newspaper in consecutive weeks with the last notice published 7 days before the public hearing at the Plan Commission meeting, as well as notification letters sent to all property owners within 100' of the subject property's boundaries. As such, a legal notice was published in the *Plymouth Review* on February 14 and February 21 regarding this application. A mailer was sent to nearby property owners within 100' on February 11. The public hearing required for conditional use permit applications will be held at the Plan Commission meeting on March 6.

Staff has reviewed the site plan and conditional use permit application and recommend approval of both applications with the listed conditions for the conditional use permit. In the motion for the conditional use permit application, staff requests the Plan Commission's motion includes a note that the standards for approval found in PMC 13-1-28(f)(1) are met and satisfied*

*If the TIA analysis from Kapur Engineering is not available by the date of the meeting, DPW Director/City Engineer Austin also requests the motion for approval be contingent on approval of the TIA by the City Engineer.

Action Requested:

Staff requests the Plan Commission hold a public hearing for the conditional use permit application and consider a motion on both the conditional use permit application and the site plan review as separate motions.

Attachments:

- I. Applicant Materials
- II. WDNR Wetland Exemption Letter
- III. Director Austin and Fire Chief Pafford Review Comments

Action	Date	Status
Mail CUP notice to nearby	2/11/2025;	Mailed
owners;	2/25/2025	
Mail CUP notice to Plan		
Commissioners and		
Common Council		
CUP Public Notice in	2/14/2025 & 2/21/2025	Published
Plymouth Review		
Plan Commission meeting	3/6/2025	This Meeting
& Public Hearing For CUP		
and Site Plan Review		



February 6, 2025

Project Narrative – Site Plan Review & Conditional Use Permit

Project: North Town Partners – Multi-Family Development

Eastern Ave Plymouth, WI

North Town Partners is requesting site plan review and conditional use permit review and approval for a multi-family development for residents aged 55+ located off of Eastern Avenue (parcels 59271821077 & 59271821078) in the City of Plymouth. The parcels will be combined via Affidavit to Merge Real Estate and will be recorded prior to the March Plan Commission meeting. The parcels have recently been rezoned to R-6 to allow for the proposed project.

The first phase of the development will include (2) buildings; Building 1 with 54 units and Building 2 with 51 units. A future Building 3 is proposed on the north end of site and will have 51 units. Per City zoning ordinance, a Conditional Use Permit is required for any multi-family dwellings between 29-56 units. The (3) buildings will be approximately 21,000 SF, 3-story and have underground parking. The overall property is 11.06 acres and the proposed area of disturbance for the project is 5.12 acres. Exterior materials are represented in the attached color elevations and will consist of a marsh aesthetic color scheme as shown in the attached color scheme document. Building materials will consist of high-end materials to compliment the adjacent structures. Waste enclosures will be located internally to the buildings with no exterior enclosures. An outdoor pickleball court is proposed with the development.

Access to the site is proposed via an extension of the commercial driveway for the existing auto parts and bank on the south side of the intersection of Eastern Ave and Carr Road. A traffic impact analysis (TIA) has also been completed and is included for review. The TIA indicates there is no necessary improvements to the existing intersection. Adequate parking will be provided and includes underground parking with each of the buildings along with surface parking. Parking totals include 230 parking spaces (120 surface and 110 underground). An additional 27 surface parking spaces and 50 underground parking spaces are proposed for the future building on the north.

Landscaping will be provided in an approach that ensures species resiliency and complementary aesthetics and meets City zoning ordinance requirements. Site lighting will be provided through various site light poles and building mounted lights that provide appropriate foot candles for safety and cut-off fixtures for minimal light trespass.

The delineated wetland complex on the south & east side of the property will be avoided by the development. Mapped Floodplain (Zone A-Unstudied) exists along the wetland boundary and no additional fill or compensation is required. All necessary stormwater improvements were provided with the 2022 master development project for this site. The master stormwater calculations included a combined lot coverage of 3.85 acres of impervious surfaces and the proposed improvements include roughly 3.38 acres.

The proposed developed property will be a positive change to the area, help to meet the current housing demands of the area, maximize and optimize the site developed area while protecting the wetland areas on site, and fit with the character of the existing neighborhood. The project will have no negative impact on neighboring properties.

PROPOSED MULTI-FAMILY DEVELOPMENT FOR: NORTH TOWN PARTNERS

Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

PROJECT INFORMATION

PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE

EXISTING UTILITY POLE

EXISTING ELECTRIC BOX

EXISTING GAS VALVE

EXISTING HEDGE

EXISTING SHRUB

EXISTING STUMP

O-□ PROPOSED LIGHT POLE

SOIL BORING

PROPOSED DRAINAGE FLOW

PROPOSED APRON END SECTION

CENTER LINE

PROPOSED CLEANOUT

——— POL ————— EXISTING POLISH SEWER AND MANHOLE

——— CLW ——— EXISTING CLEAR WATER LINE

P EXISTING PROCESS SEWER AND MANHOLE

FO EXISTING UNDERGROUND FIBER OPTIC LINE

E EXISTING UNDERGROUND ELECTRIC CABLE

G EXISTING UNDERGROUND GAS LINE

POL—POL—PROPOSED POLISH SEWER AND MANHOLE

P PROPOSED PROCESS SEWER AND MANHOLE

FO ——PROPOSED UNDERGROUND FIBER OPTIC LINE

T PROPOSED UNDERGROUND TELEPHONE CABLE

PROPOSED UNDERGROUND ELECTRIC CABLE

—— G ——— PROPOSED UNDERGROUND GAS LINE

— OU — PROPOSED OVERHEAD UTILITY LINE

— CLW ——PROPOSED CLEAR WATER LINE

—— OU ——— EXISTING OVERHEAD UTILITY LINE

RAILROAD TRACKS

------ RIGHT-OF-WAY LINE

T EXISTING UNDERGROUND TELEPHONE CABLE

PROPOSED DOWNSPOUT TO GRADE

PROPOSED DOWNSPOUT TO RISER. PROVIDE RISER UP TO GRADE

EXISTING WOODED AREA

EXISTING MARSH AREA

EXISTING CONIFEROUS TREE

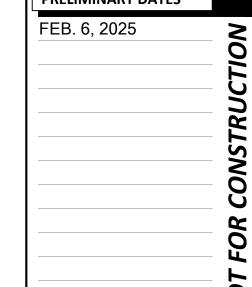
PROPOSED STORM FIELD INLET - ST FI

EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER

EXISTING UTILITY POLE WITH GUY WIRE

EXISTING TELEPHONE PEDESTAL

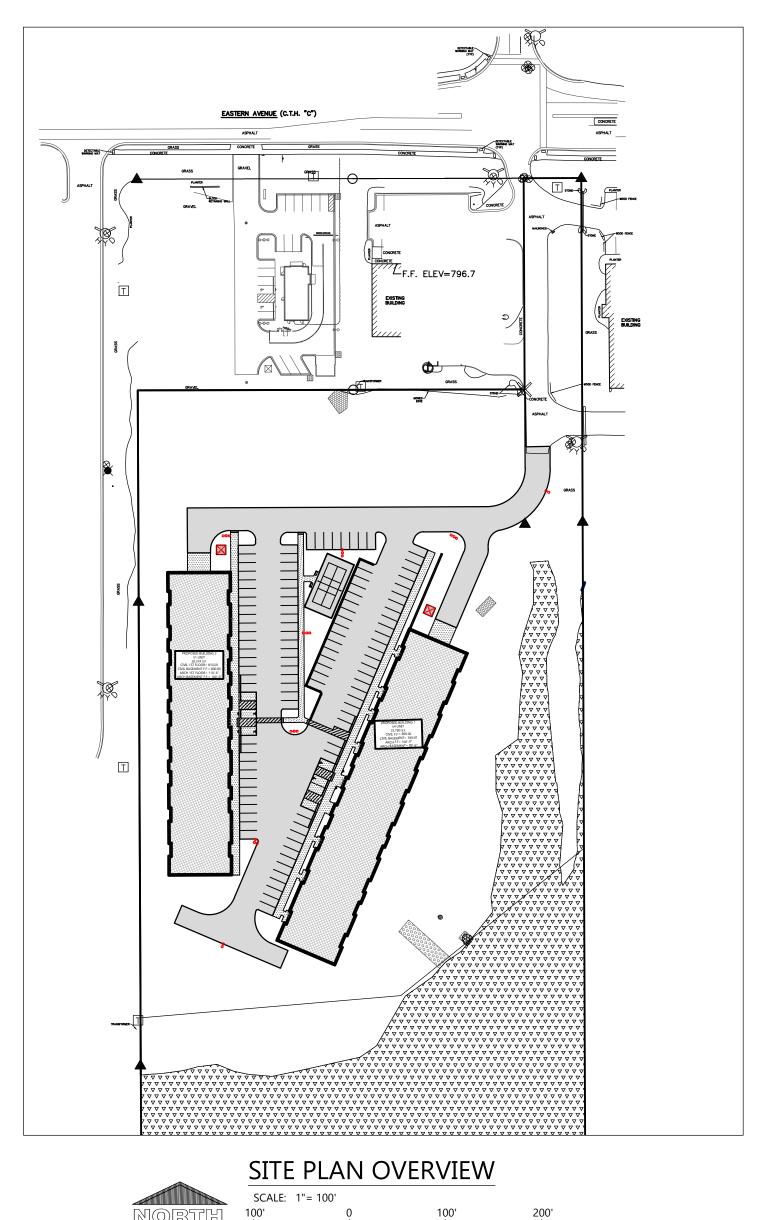
EXISTING TELEPHONE MANHOL



JOB NUMBER

SHEET NUMBER

PLYMOUTH, WISCONSIN



PROJECT CONTACTS

LOCATION MAP

OWNER INFORMATION:
NORTH TOWN PARTNERS
Chris Merklein
P.O. BOX 847
Sheboygan, WI 53082
Phone: (920) 838-6628
Email: chris@northtownpartners.com

E-mail: devin.winter@excelengineer.com

CITY PLANNER: Phone: (920)893-3741 E-mail: Zoning@plymouthgov.com

CITY ENGINEER: Phone: (920)893-1471 E-mail: CAustin@plymouthutilities.com

CITY FIRE CHIEF: Ryan Pafford Phone: (920)893-1331 E-mail: rpafford@plymouthfd.com CITY BUILDING INSPECTOR: Phone: (920)893-3741 E-mail: inspectorpete@plymouthgov.com

CITY DIRECTIOR OF PUBLIC WORKS Phone: (920)893-1471 E-mail: CAustin@plymouthutilities.com

SHEET INDEX

GENERAL PROJECT NOTES

ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.

PROJECT NOTES

- 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- 3. CONTRACTOR SHALL INCLUDE COST FOR CLEANING THE EXISTING STORMWATER POND AFTER CONSTRUCTION TO REMOVE ANY SEDIMENT THAT HAS COLLECTED THROUGHOUT CONSTRUCTION AND BRING THE POND BACK TO DESIGN ELEVATIONS. PERMITTING AND REMOVAL OF SEDIMENT SHALL BE COMPLETED BY THE EXCAVATING CONTRACTOR UNLESS OTHERWISE DIRECTED BY OWNER.

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING

SHEETS BELOW INTENDED TO BE PRINTED IN: COLOR. REFER TO DIGITAL FORMAT

NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.1	CIVIL COVER SHEET CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

LEGEND

EXISTING SITE SYMBOLS

UNLESS OTHERWISE SPECIFIED)

EXISTING WATER VALVE IN MANHOL

EXISTING STORM CATCH BASIN

EXISTING SQUARE CATCH BASIN

1-1/4" REBAR SET WEIGHING 4.30 LB/FT.

PROPOSED HANDICAP PARKING STALL

PROPOSED STORM CATCH BASIN - ST CB

PROPOSED STORM CURB INLET - ST CI

— EXISTING CHAINLINK FENCE

EXISTING CURB AND GUTTER

—□—— EXISTING WOOD FENCE

— ° ° ° EXISTING GUARD RAIL

_ 800 - _ EXISTING GROUND CONTOUR

PROPOSED CHAINLINK FENCE

XXX PROPOSED BARBED WIRE FENC

— 800 PROPOSED GROUND CONTOUR

PROPOSED CURB AND GUTTER

PROPOSED WOOD FENCE

PROPOSED GUARD RAIL

—— ST ———— EXISTING STORM SEWER AND MANHOLE

— SA — S— EXISTING SANITARY SEWER AND MANHOLE

- INTERIOR PROPERTY LINE

EXISTING WATER LINE AND HYDRANT

— SA — S—PROPOSED SANITARY SEWER AND MANHOLE - SAN MH

PROPOSED WATER LINE AND HYDRANT

PROPOSED WATER VALVE IN BOX

PROPOSED WELL

EXISTING STORM CURB INLET

EXISTING LIGHT POLE

☐ 1-1/4" REBAR FOUND

O 3/4" REBAR FOUND

2" IRON PIPE FOUND

SECTION CORNER

PROPOSED SIGN

EXISTING LINETYPES

PROPOSED LINETYPES

DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL

C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

CIVIL COVER SHEET

TO OBTAIN LOCATION OF

PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN

WISCONSIN

CALL DIGGERS HOTLINE

1-800-242-8511 TOLL FREE TELEFAX (414) 259-0947 TDD (FOR THE HEARING IMPAIRED)

1-800 542-2289 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

 B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING
- C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
 D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
 B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO
- COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.

 C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE
- REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.

 D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY.
- REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.

 E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D
 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR
 BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE
- GEOTECHNICAL REPORT.

 1. UNDER FOUNDATIONS SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.

 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95
- UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 UNDER WALKWAYS COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT
 UNDER LAWN OR UNPAVED AREAS COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS
- THAN 85 PERCENT.
 G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY PSI IN
- H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
 J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE
- EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

- A. THE EXCEL ENGINEERING DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC EROSION CONTROL AND A STORMWATER MANAGEMENT PLAN PURSUANT TO NR 216.46 AND NR 216.47. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PURSUANT TO NR 216.43 OR TO AN AUTHORIZED LOCAL PROGRAM PURSUANT TO NR 216.415 TO OBTAIN COVERAGE UNDER THE GENERAL WPDES STORM WATER
- B. THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL AND STORMWATER
 MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES PURSUANT TO NR 216.455 UNTIL
 PERMIT COVERAGE IS TERMINATED.
 C. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.
- NR 216.48. INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. A RAIN EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED.

D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF

- REQUESTED.

 E. THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED. WISCONSIN DNR CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:
- THE DATE, TIME, AND LOCATION OF THE CONSTRUCTION SITE INSPECTION.
 THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
 AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS.

STANDARD 1062 (CURRENT EDITION)

MAINTENANCE PERFORMED.

5. A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.

EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND

4. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND

- TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.

 1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW
- PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).

 2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL
- 3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057
- (CURRENT EDITION).

 4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
- 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
- THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL
 BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
 CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE
 THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM
 INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION
 OF CONSTRUCTION.
- 8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 9. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
- 10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.
- G. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
 H. ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN ACCORDANCE WITH NR 216.55.
- AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND
 STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION
 CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATING
 COVERAGE UNDER WPDES GENERAL PERMIT.
 J. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE
 SITE HAS UNDERGONE FINAL STABILIZATION.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO

2-1/4" BINDER COURSE (4 LT 58-28S)

12" OF 1-1/4" CRUSHED AGGREGATE

- PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW:

 STANDARD ASPHALT PAVING SECTION HEAVY ASPHALT PAVING SECTION
 1-3/4" SURFACE COURSE (5 LT 58-28S) 1-3/4" SURFACE COURSE (5 LT 58-28S)

 (WISDOT 455.2.5 TACK COAT (STAGED PAVING) WISDOT 455.2.5 TACK COAT (STAGED PAVING)
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1.0% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR
 CONSTRUCTION DOCUMENTS.
 D. CONTRACTOR TO PROVIDE 4" WIDE YELLOW AINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS.
 YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 20 00 CONCRETE AND AGGREGATE BASE

1-3/4" BINDER COURSE (4 LT 58-28S)

10" OF 1-1/4" CRUSHED AGGREGATE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.

 B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY
- AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

 C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:

 1. SIDEWALK CONCRETE 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST
 - OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.

 2. HEAVY DUTY CONCRETE (TRUCK TRAFFIC) 7" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS ON CHAIRS AT 3' O.C. REBAR SHALL BE PLACED PLACED IN THE UPPER 1/3 TO ½ OF THE SLAB. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER.

 3. LIGHT DUTY CONCRETE (PASSENGER CAR TRAFFIC) 5" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE. CONTRACTION
 - JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 12.5' ON CENTER

 a. CONCRETE SHALL BE STEEL REINFORCED AS FOLLOWS:

 1) TIE BARS AT OUTERMOST CONTRACTION JOINT (FIRST JOINT FROM EDGE OR AT CURB JOINT) AROUND PERIMETER OF
 - 2) TYPICAL POUR CONTROL JOINT POUR CONTROL JOINT SHALL BE PROVIDED WITH 1/4" X 4-1/2" X 4-1/4" DIAMOND SHAPED TAPERED PLATE DOWELS MANUFACTURED PER ASTM A36. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C941. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.

CONCRETE. TIE BARS SHALL BE #4 REBAR 24" LONG PLACED AT 30" O.C.

- 2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
- SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
 SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
- 4. SLUMP SHALL BE 2.5 OR LESS FOR SLIP-FORMED CORB AND GOTTER

 5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
- ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
 MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
 H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #6 BARS, 62 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 1064. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.

 M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.
- N. CONTRACTOR TO PROVIDE 4" WIDE YELLOW PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

Page 13 of 45

32 30 00 LANDSCAPING AND SITE STABILIZATION

MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN A LANDSCAPE ISLANDS SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL
- TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- B. <u>SEEDED LAWNS:</u>
 1. PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE
- LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.

 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EOUIVALENT AT 5-6
- LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.

 3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000

S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS

- 1058 & 1059.

 C. <u>SEEDED LAWN MAINTENANCE:</u> CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- D. <u>EROSION MATTING:</u>
 1. CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN \$150) OR EQUIVALENT ON ALL SLOPES
 THAT ARE 4:1 AND GREATER LAWN SEED SHALL BE PLACED <u>BELOW</u> MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS
 AND MANUFACTURER SPECIFICATIONS.
- 2. CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED <u>BELOW</u> MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- RIP RAP: ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE, AS DELINEATED ON THE PLANS, SHALL BE CONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND
- PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURAL CONSTRUCTION.

 F. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK
- SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.

 TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE
- PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.

 H. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.

 MINERAL MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM CRUSHED DECORATIVE STONE AT

ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.

J. ALUMINUM EDGING: INSTALL PERMALOC CLEANLINE LANDSCAPE EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE CL 1/8"X4" WITH 12" LONG ALUMINUM STAKES. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. COLOR BY OWNER

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIE

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL
- BE THE CONTRACTORS RESPONSIBILITY.

 B. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE.
 ALL SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A:
 ALLOWABLE PIPE MATERIAL. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS.
- C. SANITARY MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. SANITARY MANHOLE FRAME AND GRATE TO BE NEENAH R-1550-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.
- D. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 6" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE
- CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.

 E. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. 6' MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.

 F. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL
- F. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8' HORIZONTALLY FROM FOUNDATION WALLS.
- G. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS
 ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.

 H. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL
- OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SPLASH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE
- PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.

 I. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER

ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL (IF REOUIRED).

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM

- WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.

 J. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE EXCEL
- K. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

Table A: Allowable Pipe Material Schedule Fitting Code Joint Code AWWA C110. AWWA C153. Joint: ASTM D3139 Integral Bell ASTM D2464, ASTM D2466, Combined Domestic/Fire Service | C900 PVC AWWA C900, ASTM D1785, ASTM ASTM D2467, ASTM D3311, & Spigot & Private Water Main ASTM F409, ASTM F1336, ASTM | Elastomeric Seal: ASTM F477 Push On: ASTM D3212 for ASTM D1785, ASTM D2665, ASTM SDR 35 PVC ASTM F1336 Sanitary Sewer D3034, ASTM F891 Elastomeric Gasket: ASTM F477 ASTM F2648, ASTM F2306 Joint: ASTM F2648, ASTM F2306 AASHTO M252, TYPE S (4 IN - 10 | ASTM F2648, ASTM F2306, AASHTO M252, or AASHTO AASHTO M252, or AASHTO Storm Sewer M294 Elastomeric Seal: ASTM AASHTO M294, TYPE S (12 IN - 60 | M294 Push On: ASTM D3212 for ASTM D1785, ASTM D2665, ASTM SDR 35 PVC Storm Sewer D3034. ASTM F891 Elastomeric Seal: ASTM F477 Single Wall Perforated ASTM D1056 Grade 2A2 ASTM F667 ASTM F667 Pavement Underdrain

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NORTH TOWN PARTNER

EASTERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEA

PRELIMINARY DATES
FEB. 6, 2025

OLD WOLD WITH THE PROPERTY OF THE PROPERTY OF

ов NUMBER 240256900

CO.2

<u>CIVIL SPECIFICATIONS</u>



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PROJECT INFORMATION

POSED MULTI-FAMILY DEVELOPMENT FOR:

ORTHON PARTNERS

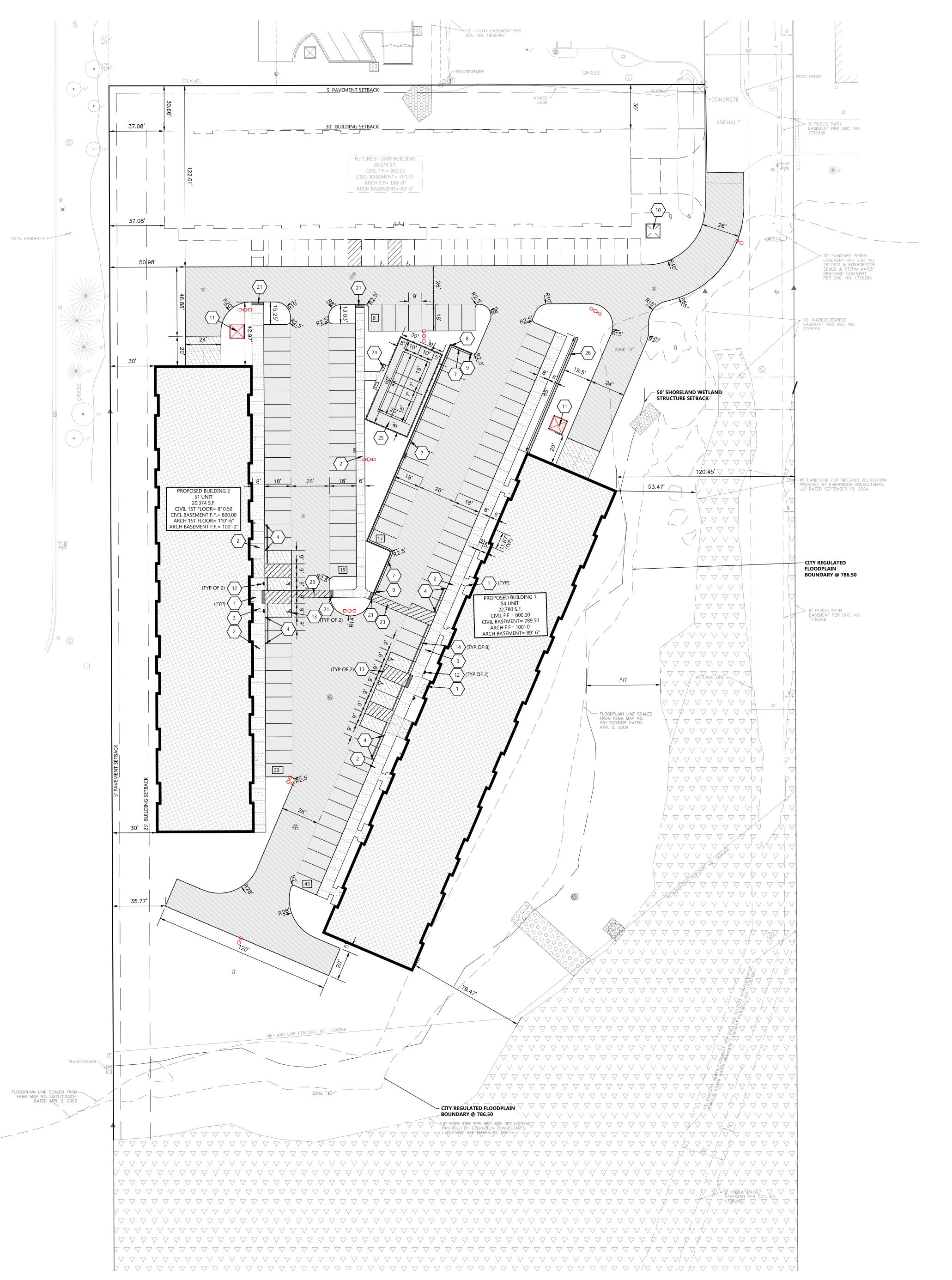
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PROFESSIONAL SEAL

PRELIMINARY DATES
FEB. 6, 2025

OUT ON STANKING TO SERVICE OF THE PROPERTY OF

JOB NUMBER 240256900





PROPERTY AREA: 481,631 S.F. (11.05 ACRES).

EXISTING ZONING: R-6

PROPOSED ZONING: R-6

PROPOSED USE: MULTI-FAMILY

AREA OF SITE DISTURBANCE: ±223,000 SF (5.12 A)

AREA OF SITE DISTURBANCE: ±223,000 SF (5.12 AC)

SETBACKS:

BUILDING: FRONT(NORTH) = 30'

SIDE(SOUTH) = 25'

REAR(EAST/ WEST) = 10'

SIDE (EAST) = 50' SHORELAND/ WETLAND

PAVEMENT: FRONT(NORTH) = 5'

SIDE(SOUTH) = 5'

REAR(EAST/WEST) = 5'

PROPOSED BUILDING HEIGHT: 55' (GARAGE TO PEAK) (MAX. HEIGHT ALLOWED: 56')

PARKING REQUIRED: 1.5 SPACES PER UNIT @ 156 UNITS W/ FUTURE (234 SPACES REQ.)

PARKING PROVIDED: 310 SPACES WITH FUTURE

ARKING PROVIDED: 310 SPACES WITH FUTURE SURFACE: 147 SPACES: 6 ACCESSIBLE BLDG 1: 60 UNDERGROUND SPACES BLDG 2: 50 UNDERGROUND SPACES BLDG 3 -FUTURE: 50 UNDERGROUND SPACES

BLDG 3 -FUTURE: 50 UNDERGROUND SPACES

HANDICAP STALLS REQUIRED: 8, HANDICAP STALLS PROVIDED: 8 CURRENT, 12 FUTURE

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.09
PAVEMENT (ASP. & CONC.)	0.21	9,041	1.99
TOTAL IMPERVIOUS	0.21	9,041	1.99
LANDSCAPE/ OPEN SPACE	10.85	472,590	98.19
PROJECT SITE	11.06	481,631	100.0%
PROPOSED SITE DA	TA (W/ FUTUR	<u>E)</u>	
PROPOSED SITE DA	TA (W/ FUTUR AREA (AC)	E) AREA (SF)	RATI
PROPOSED SITE DA			
	AREA (AC)	AREA (SF)	13.2
BUILDING FLOOR AREA	AREA (AC) 1.46	AREA (SF) 63,528	13.2° 17.4°
BUILDING FLOOR AREA PAVEMENT (ASP. & CONC.)	AREA (AC) 1.46 1.93	AREA (SF) 63,528 83,936	RATIO 13.25 17.45 30.65 69.45



HATCH PAVEMENT SECTION

STANDARD ASPHALT

HEAVY DUTY ASPHALT

SIDEWALK CONCRETE

LIGHT DUTY CONCRETE

HEAVY DUTY CONCRETE

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PROJECT INFORMATION

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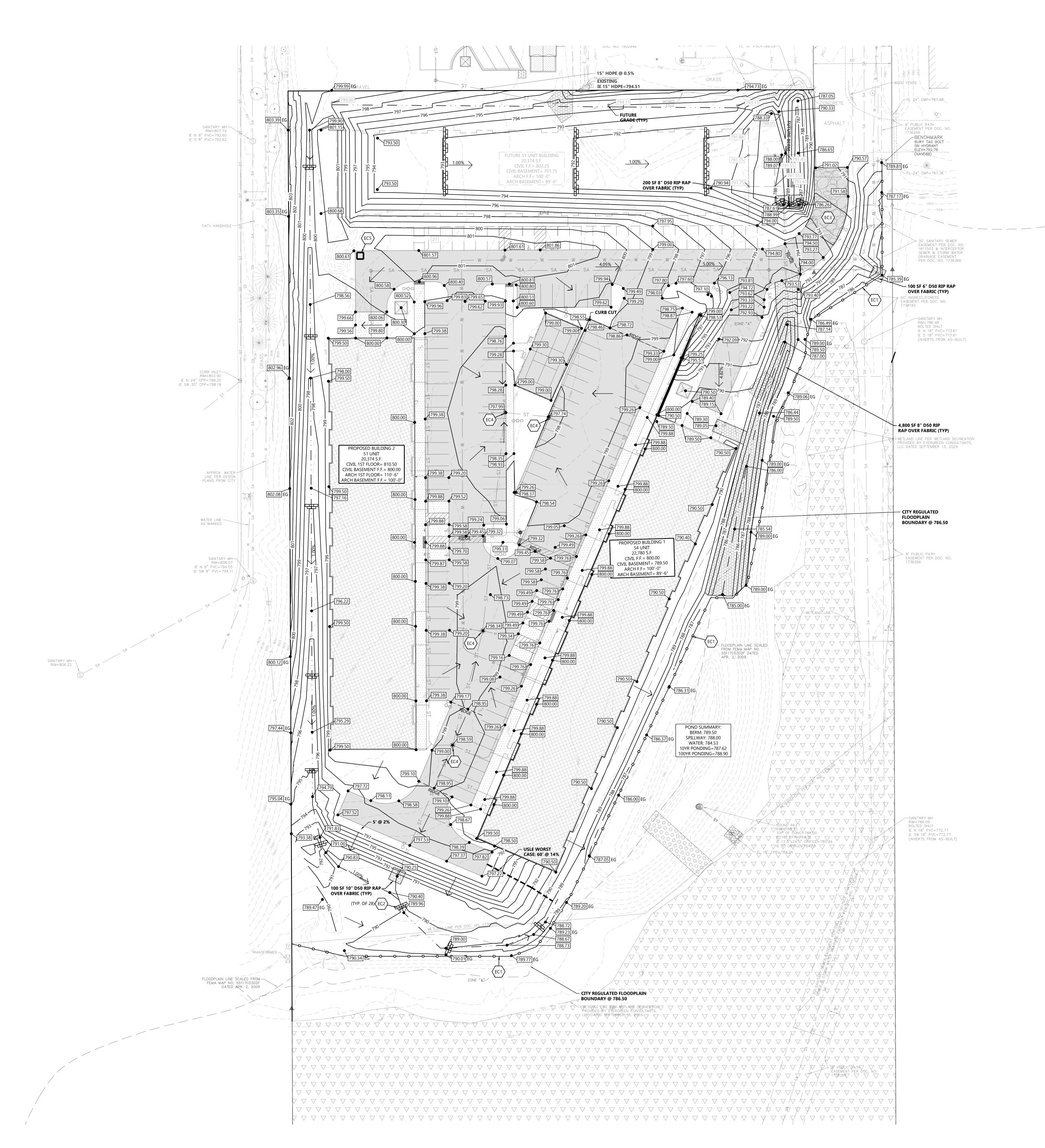
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ЈОВ NUMBER 240256900

CIVIL SITE PLAN



GENERAL NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF
- 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

 CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION
- ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

 CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED
- PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

 CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR
- ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

 CONTRACTOR SHALL INCLUDE COST FOR CLEANING THE EXISTING STORMWATER POND AFTER CONSTRUCTION TO REMOVE ANY

CONTRACTOR SHALL INCLUDE COST FOR CLEANING THE EXISTING STORMWATER POND AFTER CONSTRUCTION TO REMOVE ANY SEDIMENT THAT HAS COLLECTED THROUGHOUT CONSTRUCTION AND BRING THE POND BACK TO DESIGN ELEVATIONS. PERMITTING AND REMOVAL OF SEDIMENT SHALL BE COMPLETED BY THE EXCAVATING CONTRACTOR UNLESS OTHERWISE DIRECTED BY OWNER.

KEYNOTES		
EC 1	SILT FENCE	
EC 2	DITCH CHECK	
EC 3	STABILIZED CONSTRUCTION ENTRANCE	
EC 4	INLET PROTECTION	
EC 5	CONCRETE WASHOUT	

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ERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

ЈОВ NUMBER 240256900

GENERAL NOTES:

CONTRACTOR MUST COORDINATE W/ OWNER FOR ALL DESIRED WALL PACK LOCATIONS PRIOR TO CONSTRUCTION TO ENSURE WALKS ARE ADEQUATELY LIT IN ACCORDANCE WITH OWNER REQUIREMENTS.



PROJECT INFORMATION

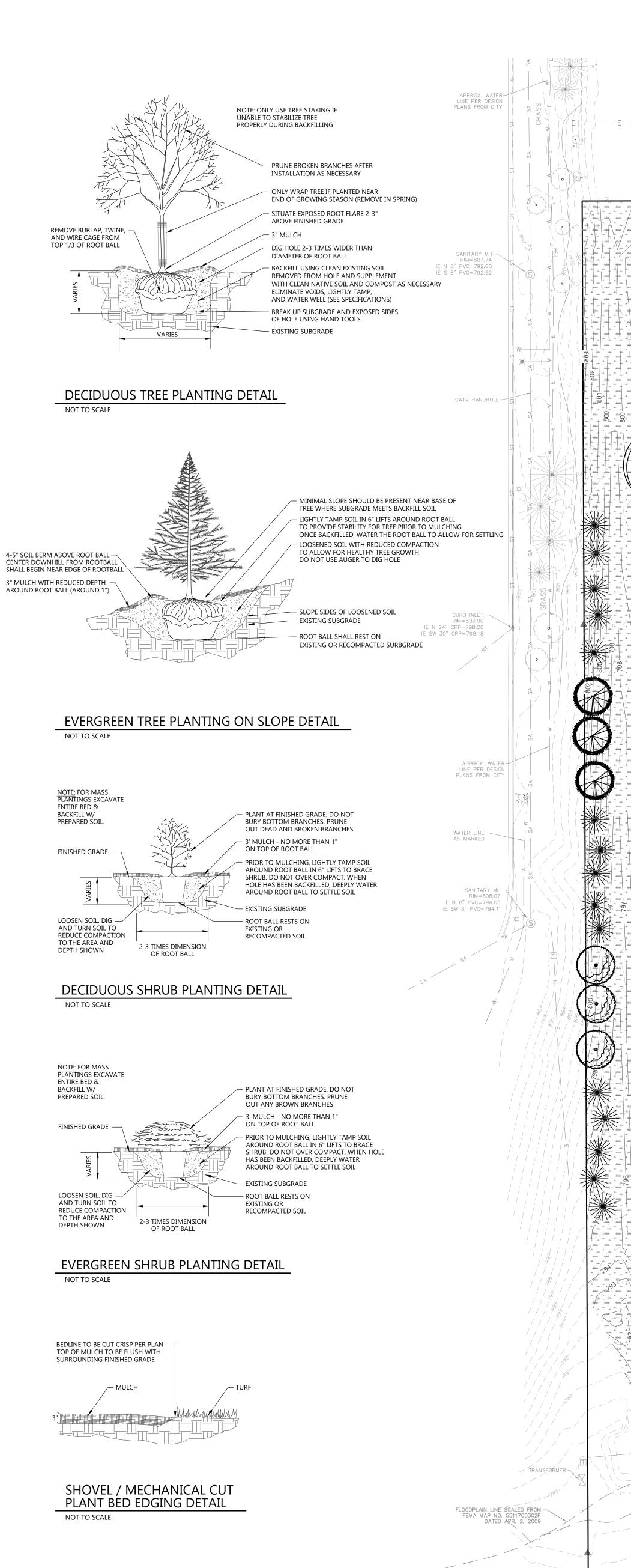
OPOSED MULTI-FAMILY DEVELOPMENT FOR ORTH TOWN PARTNERS EASTERN AVE. • PLYMOUTH, WI 53073

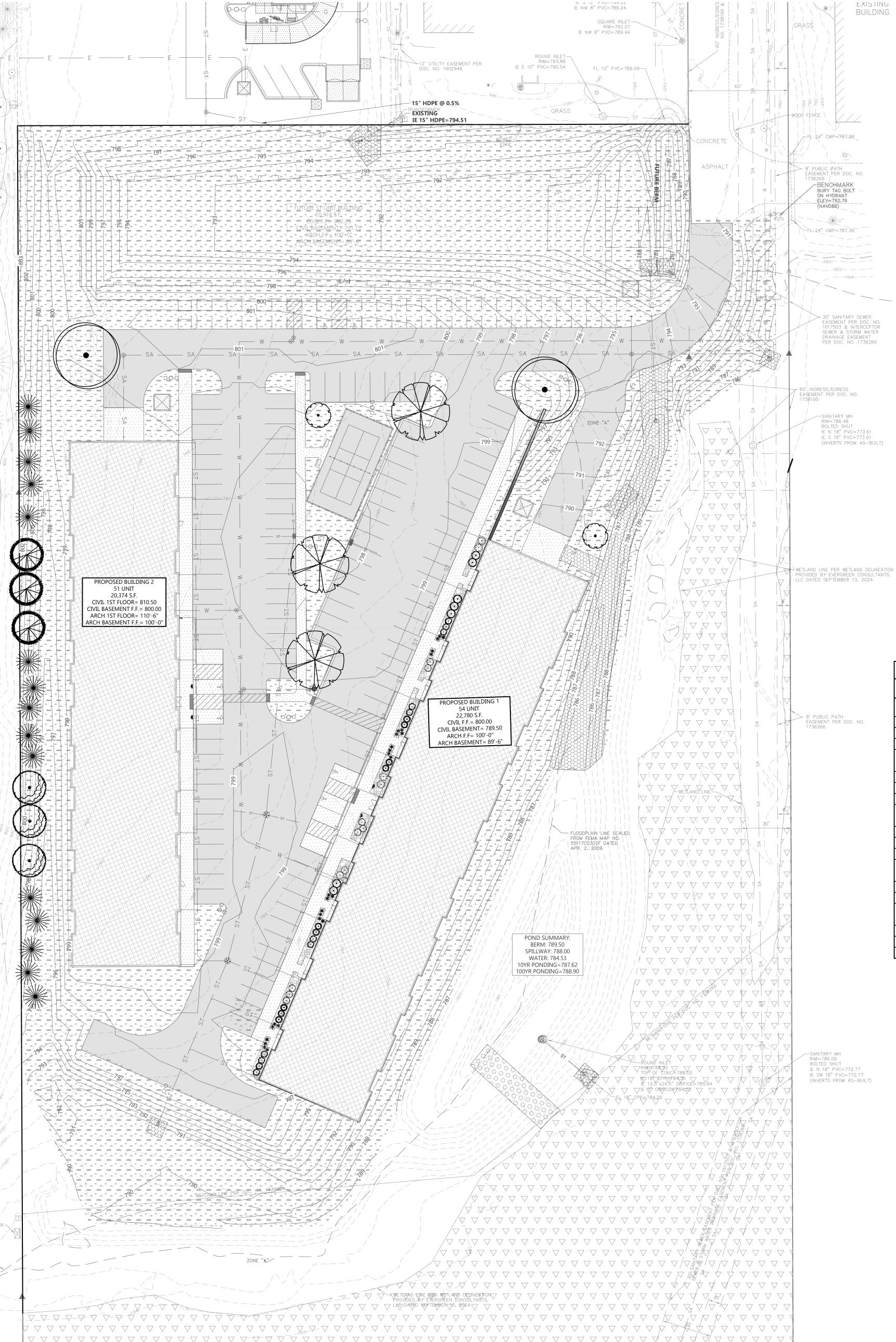
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FEB. 6, 2025

JOB NUMBER 240256900

CIVIL UTILITY PLAN







0

PROFESSIONAL SEAL

LANDSCAPING CALCULATIONS				
ZONE	REQ. PLANTS	PLANTS PROVIDED		
ON LOT	10% OF DRIVE AND PARKING SURFACE AREA 55,418 SF x .1 = 5,541.8 SF	7,202 SF		

PLANT SCHEDULE

Gleditsia triacanthos 'Shademaster'

Juniperus virginiana 'Canaertii'

Pinus strobus 'J-4 Select'

Aronia melanocarpa 'Morton'

Physocarpus opulifolius 'Donna May'

Cornus stolonifera 'Farrow'

Juniperus chinensis 'Monsan'

Calamagrostis acutiflora 'Overdam'

Panicum virgatum 'Heavy Metal'

Taxus x media 'Everlow'

BOTANICAL NAME

Amelanchier laevis

Celtis Occidentalis

Picea glauca

SYMBOL

DECIDUOUS TREES

EVERGREEN TREES

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

ORNAMENTAL GRASSES

COMMON NAME

Allegheny Serviceberry

Shademaster Honeylocust

Shear-less Dream White Pine

Iroquois Beauty Black Chokeberry

Common Hackberry

Canaert Juniper

Arctic Fire Dogwood

Little Devil Ninebark

Sea of Gold Juniper

Overdam Feather Reed Grass

Heavy Metal Switch Grass

Everlow Yew

White Spruce

HATCH KEY: HATCH LANDSCAPE MATERIAL SEEDED LAWN

PLANTED SIZE

2" CAL.

6' HT.

6' HT.

18" HT.

18" HT.

18" HT.

18" HT.

1 GAL.

1 GAL.

2 2" CAL.

3 2" CAL.

15 6' HT.

6 18" HT.

ROOT

B&B

B&B

B&B

CONT.

CONT.

CONT.

CONT.

CONT.

CONT.

CONT.

CONT.

POT

QUANTITY

6

8

11

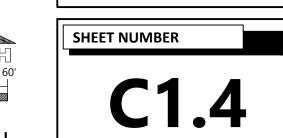
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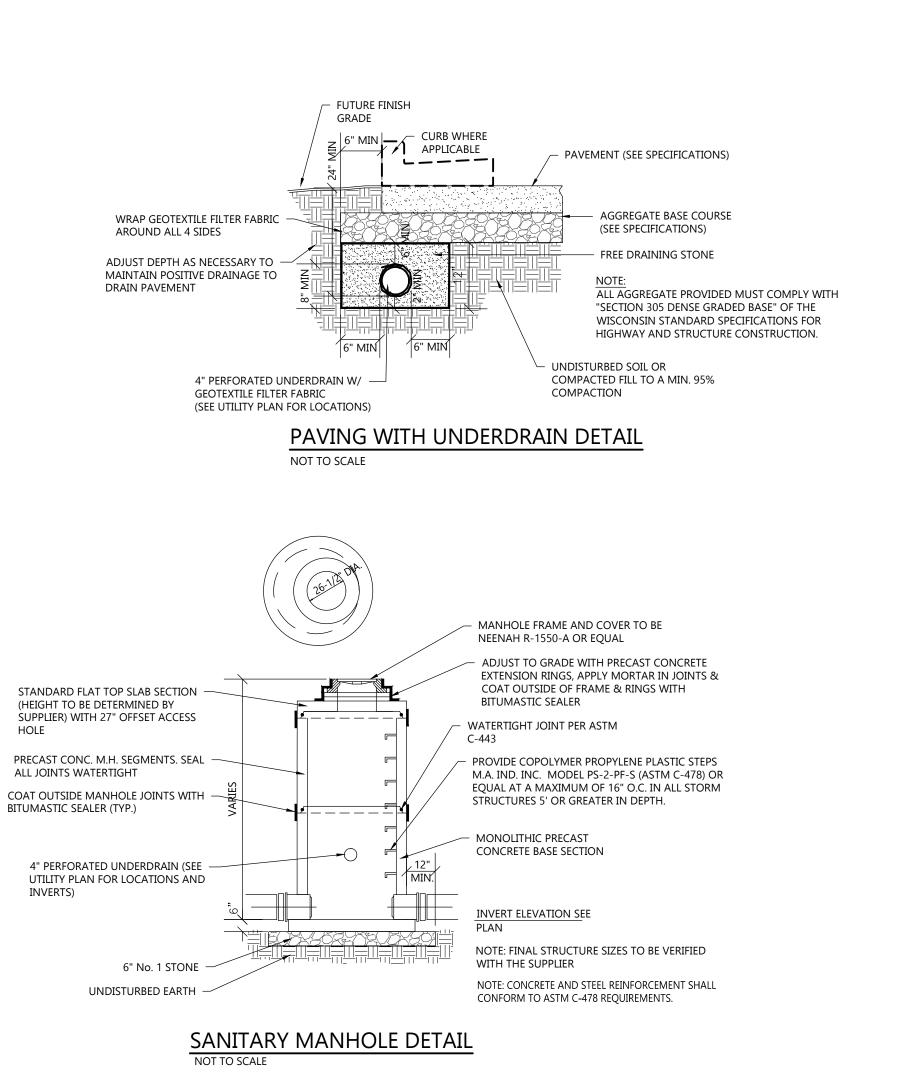
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PRELIMINARY DATES FEB. 6, 2025

JOB NUMBER 240256900





STANDARD FLAT TOP SLAB SECTION -

ALL JOINTS WATERTIGHT

INVERTS)

(HEIGHT TO BE DETERMINED BY SUPPLIER) WITH 24"x16" OFFSET ACCESS HOLE

PRECAST CONC. M.H. SEGMENTS. SEAL

MONOLITHIC PRECAST -CONCRETE BASE SECTION

4" PERFORATED UNDERDRAIN (SEE

UTILITY PLAN FOR LOCATIONS AND

6" No. 1 STONE

STORM SQUARE INLET DETAIL NOT TO SCALE

UNDISTURBED EARTH

STANDARD FLAT TOP SLAB SECTION

SUPPLIER) WITH 27" OFFSET ACCESS

PRECAST CONC. M.H.

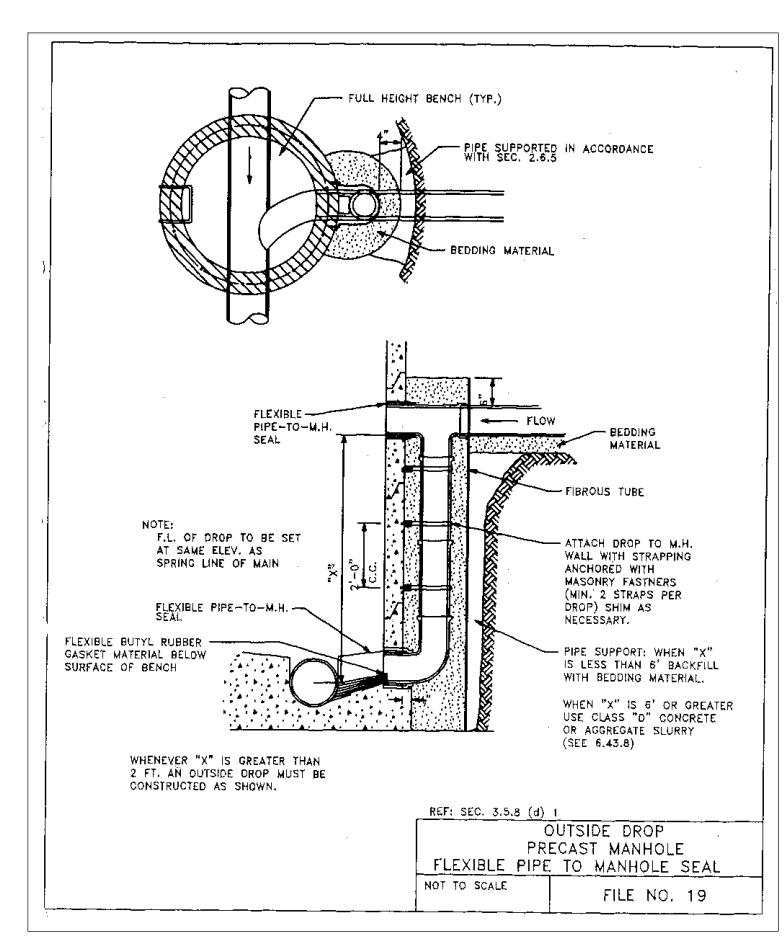
SEGMENTS. SEAL ALL

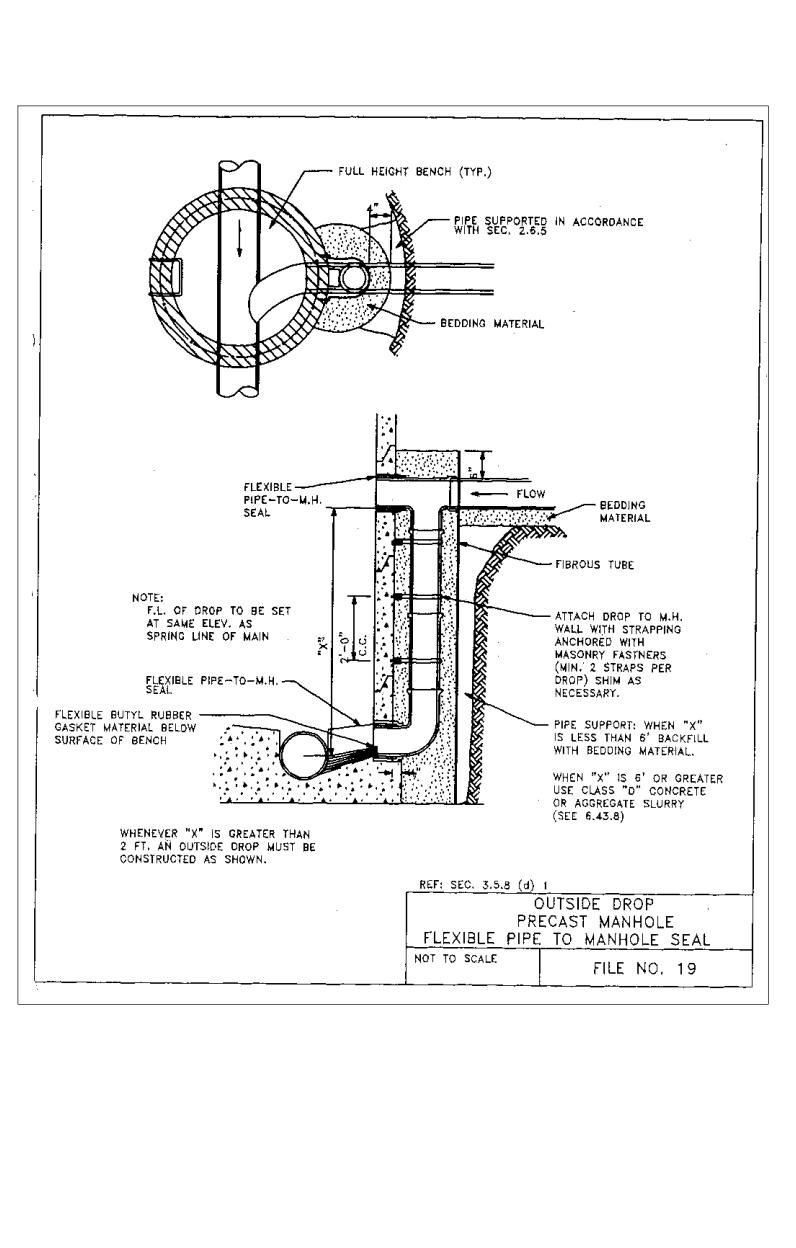
JOINTS WATERTIGHT

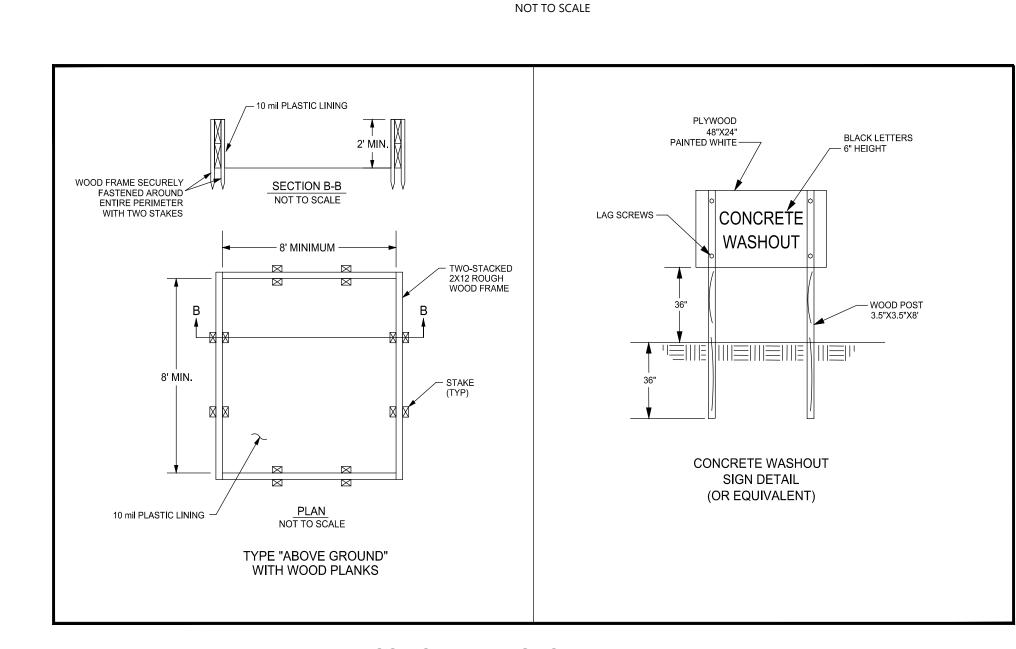
4" PERFORATED UNDERDRAIN (SEE UTILITY PLAN FOR LOCATIONS AND INVERTS)

6" No. 1 STONE -

(HEIGHT TO BE DETERMINED BY







POURED IN PLACE

CONCRETE

SEE PLAN

4" CONC. WALK -

1.5% SLOPE MAX.

6" MIN 6" MIN

FLUSH WALK DETAIL

(IF APPLICABLE)

XXX.XX TC

CRUSHED AGGREGATE BASE COURSE

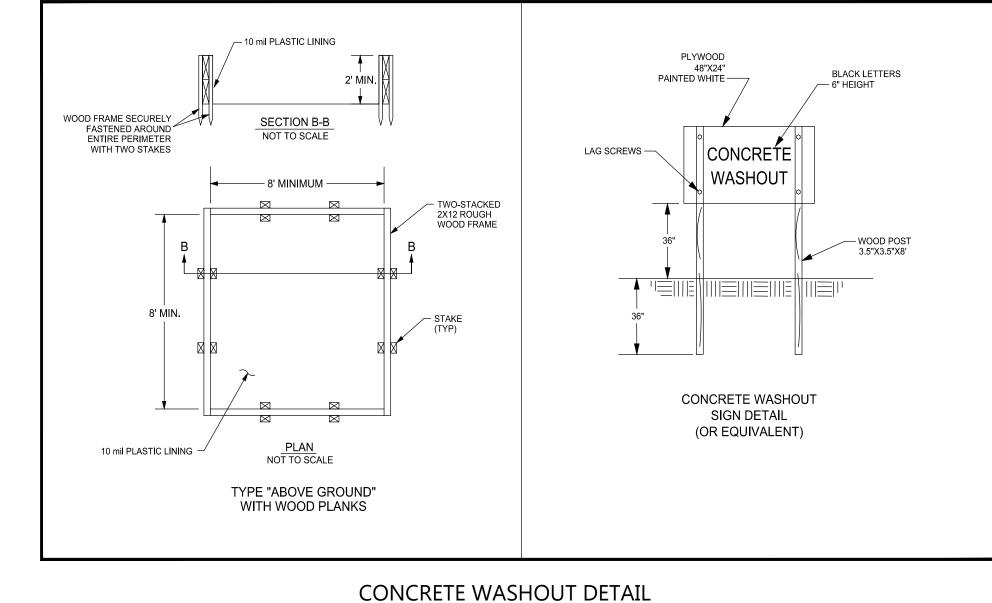
1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.

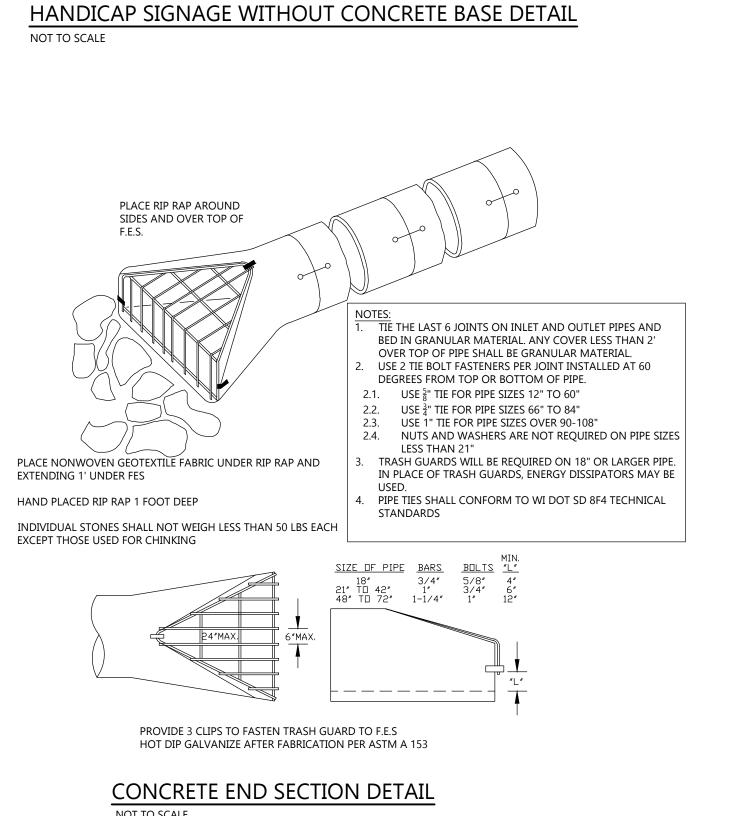
3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

18" CONCRETE CURB & GUTTER DETAIL

- 3/4" R MAX.

THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS





3" TO 6" STONE

12" MINIMUM THICKNESS

AS NEEDED

— GEO-TEXTILE FABRIC LINER

MIN.

INSTALL IN ACCORDANCE WITH WI DNR TECHNICAL STANDARD 1057 (CURRENT

TRACKING MATS SHALL BE INSPECTED DAILY.

DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED

TRACKING PAD

TRACKING PAD SHALL BE FULL

PLAN

TRACKPAD DETAILS

WIDTH OF THE EGRESS POINT

SECTION A-A

EXISTING STABILIZED

SURFACE

IMMEDIATELY

BUILDING FELT -(IF APPLICABLE)

4" CONC. WALK -

1.5% SLOPE MAX.

AGGREGATE BASE

BUILDING AT 1.5% MAX.

NOTE: SLOPE SLAB AWAY FROM

GALVANIZED ROUND CAP

ADD VAN SIGN AT VAN

ACCESSIBLE SPACES

PIPE-PAINTED BLACK

- FINISH GRADE

2 3/8" DIA. STEEL

PAINTED BLACK

WHEEL STOP -

PAVEMENT

NOTE: SLOPE SLAB AWAY FROM BUILDING AT 1.5% MAX.

– #4's T&B

12" MIN

RESERVED

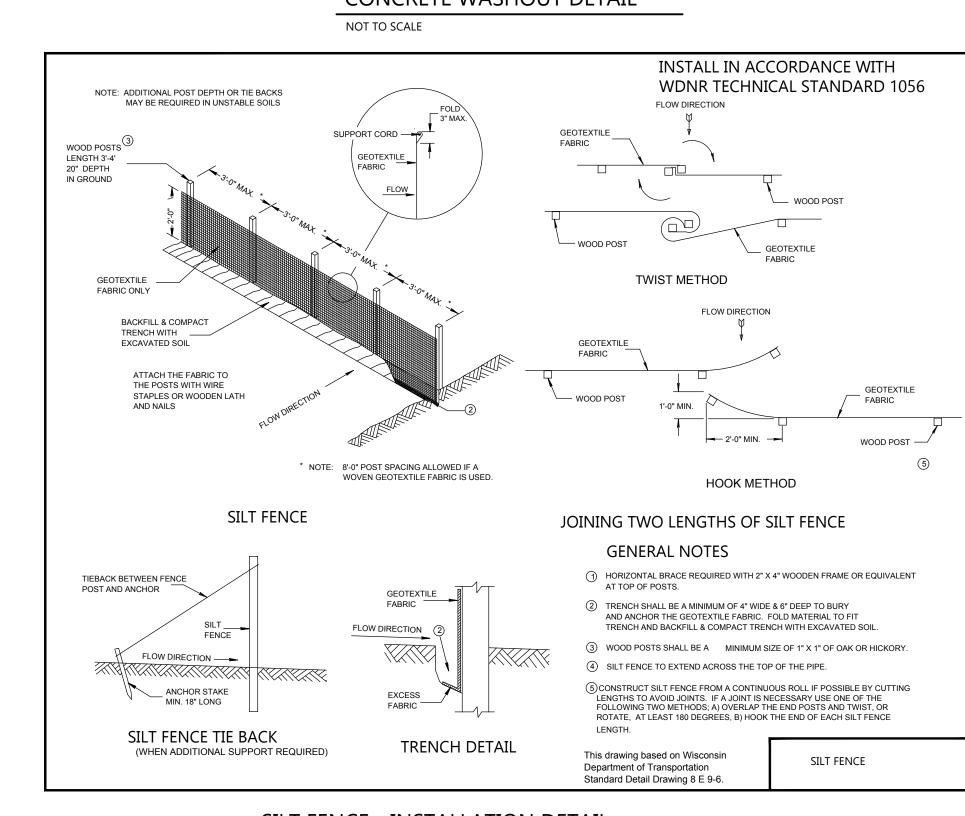
PARKING

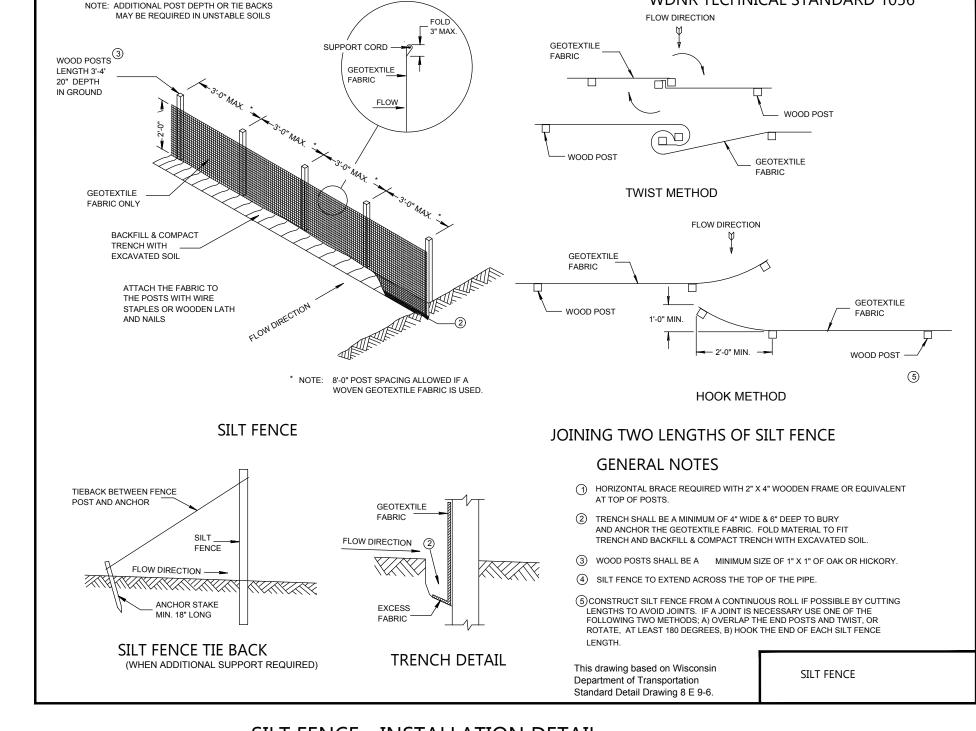
THIS SPACE

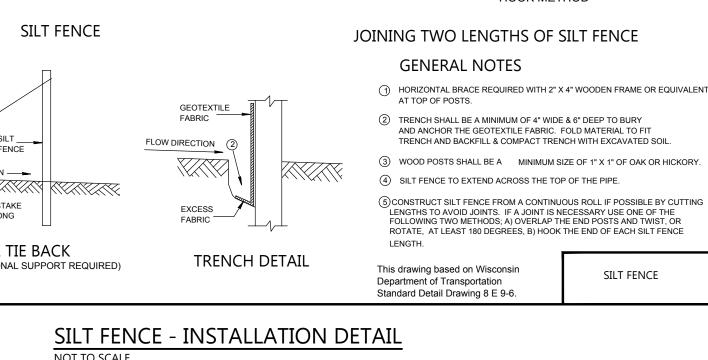
VAN

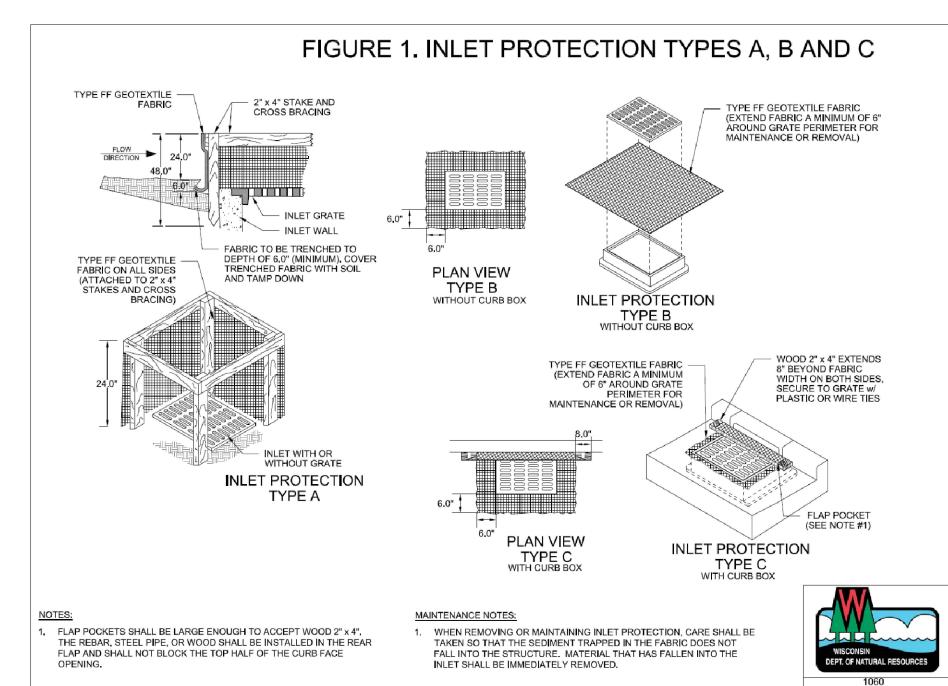
ACCESSIBLE

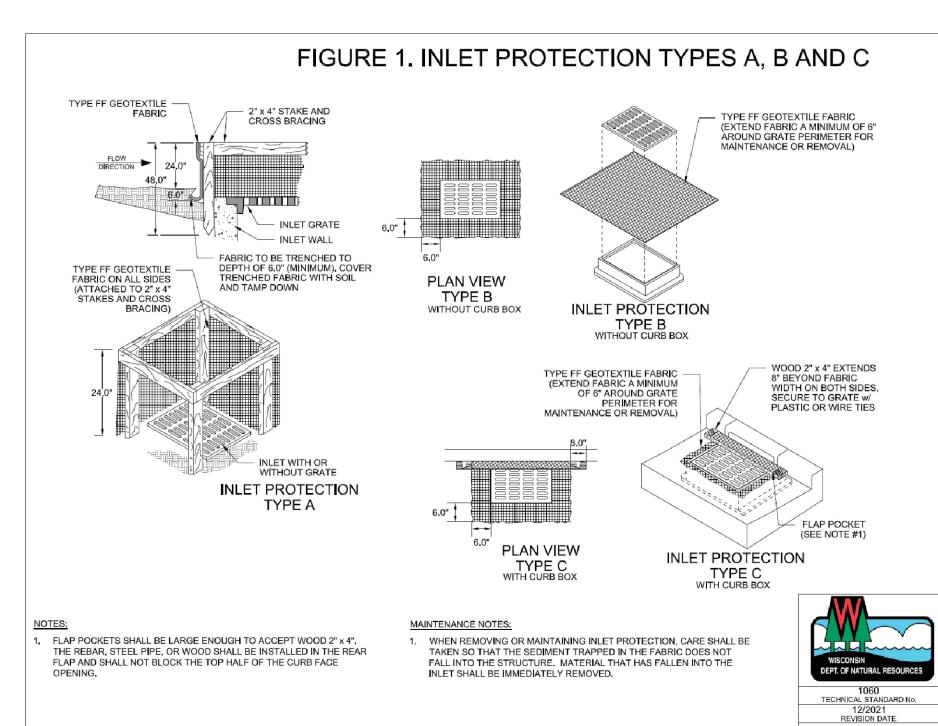
RAISED WALK DETAIL

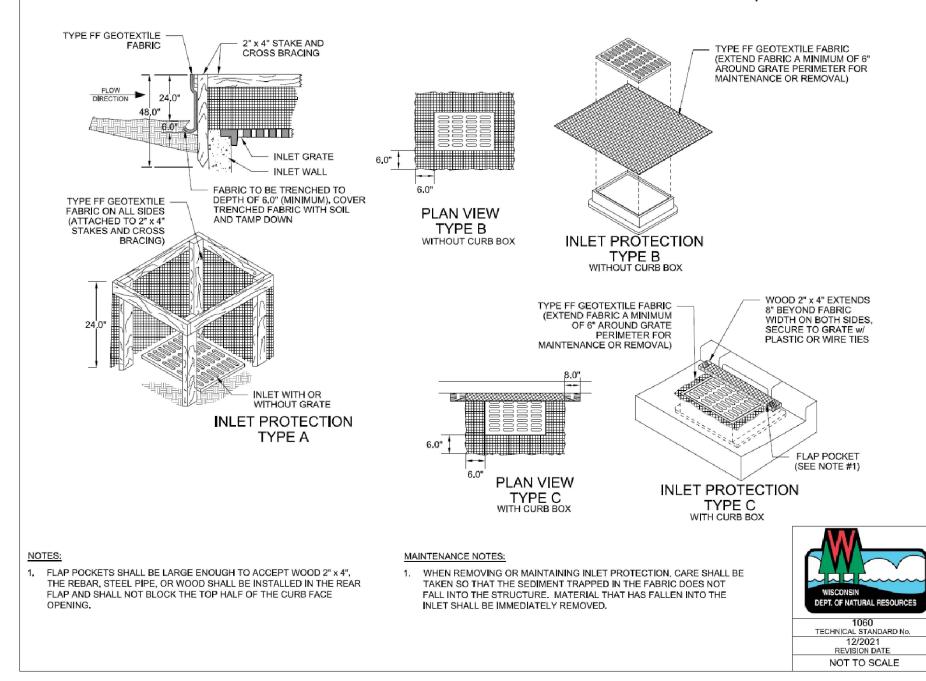






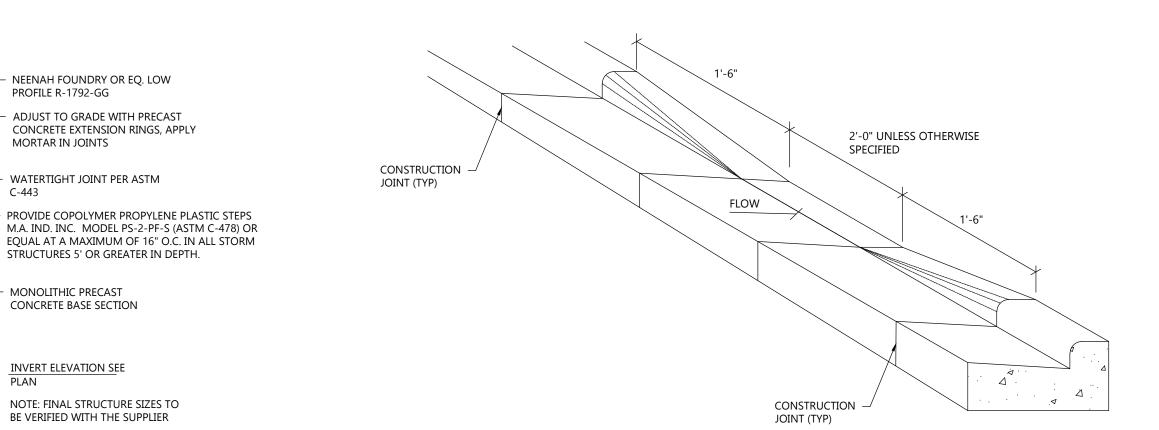






INLET PROTECTION DETAIL

CIVIL DETAILS





- NEENAH FOUNDRY OR EQ. LOW

WATERTIGHT JOINT PER ASTM

PROVIDE COPOLYMER PROPYLENE PLASTIC STEPS M.A. IND. INC. MODEL PS-2-PF-S (ASTM C-478) OR

EQUAL AT A MAXIMUM OF 16" O.C. IN ALL STORM

STRUCTURES 5' OR GREATER IN DEPTH.

NOTE: FINAL STRUCTURE SIZES TO

NOTE: CONCRETE AND STEEL REINFORCEMENT

SHALL CONFORM TO ASTM C-478 REQUIREMENTS.

NEENAH FOUNDRY OR EQ. LOW

- ADJUST TO GRADE WITH PRECAST

WATERTIGHT JOINT PER ASTM

CONCRETE EXTENSION RINGS, APPLY

PROFILE R-1792-GG

MORTAR IN JOINTS

MONOLITHIC PRECAST CONCRETE BASE SECTION

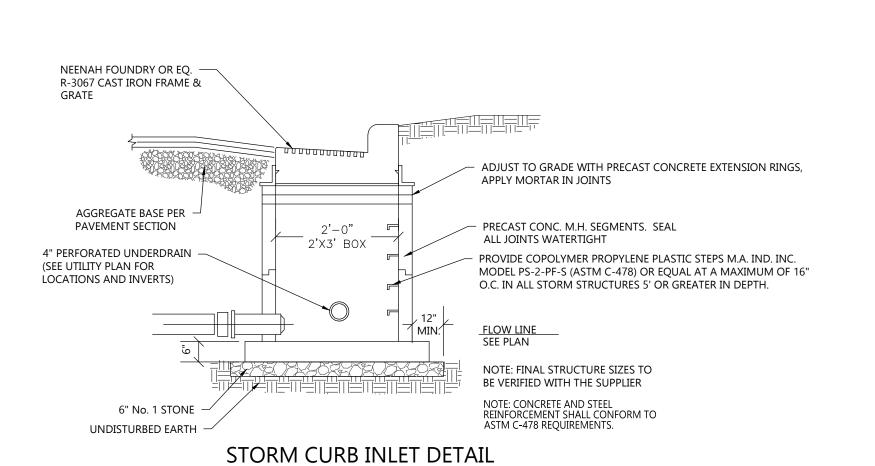
NOTE: FINAL STRUCTURE SIZES TO

BE VERIFIED WITH THE SUPPLIER

BE VERIFIED WITH THE SUPPLIER

MORTAR IN JOINTS

ADJUST TO GRADE WITH PRECAST CONCRETE EXTENSION RINGS, APPLY



SEE SITE PLAN FOR -CONTINUATION CONSTRUCTION -JOINT (TYP)

CURB TAPER DETAIL

Page 19 of 45

Always a Better Plan

100 Camelot Drive

Fond du Lac, WI 54935

920-926-9800

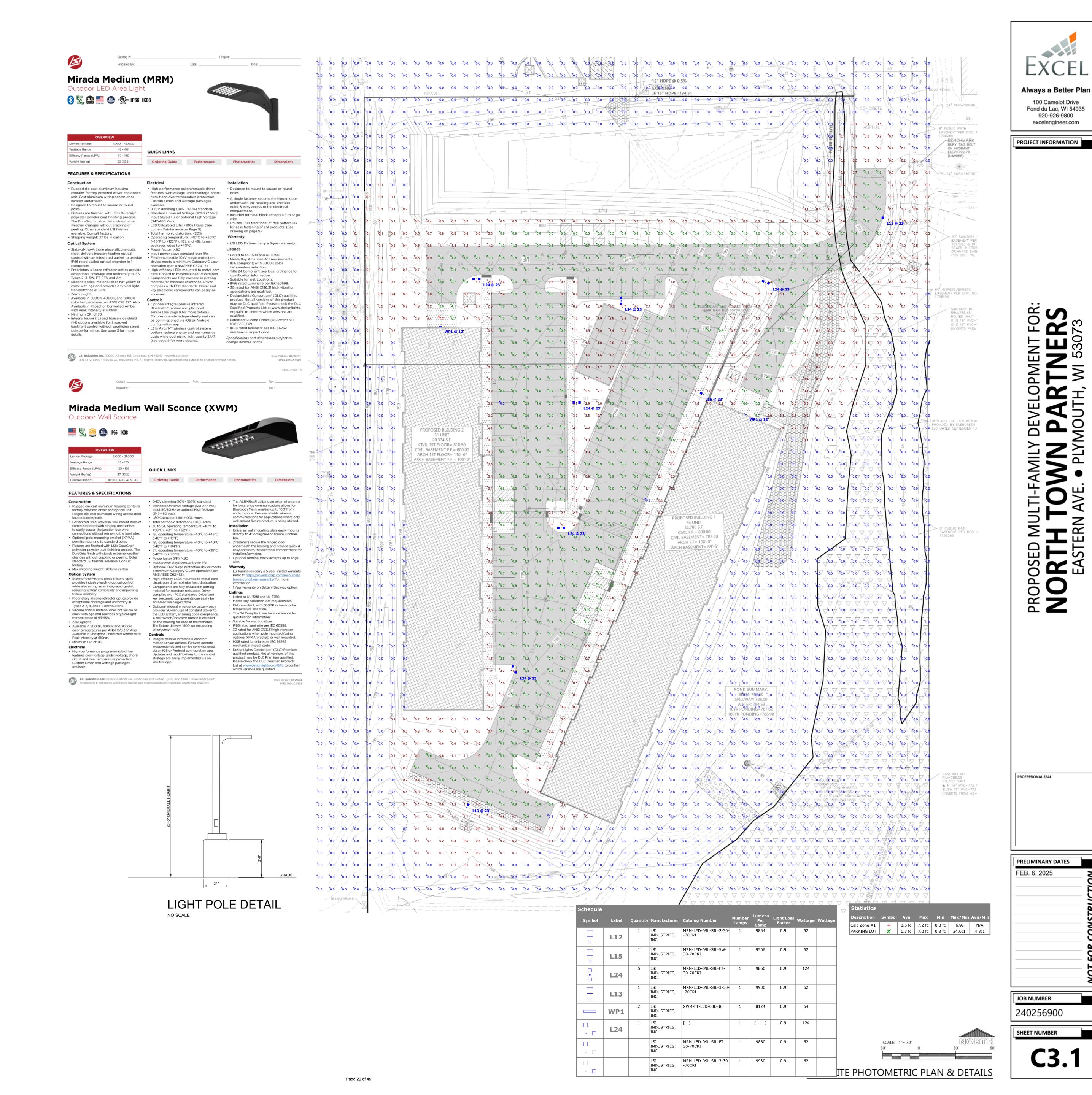
excelengineer.com

PROJECT INFORMATION

PROFESSIONAL SEAL

PRELIMINARY DATES FEB. 6, 2025

JOB NUMBER 240256900 SHEET NUMBER

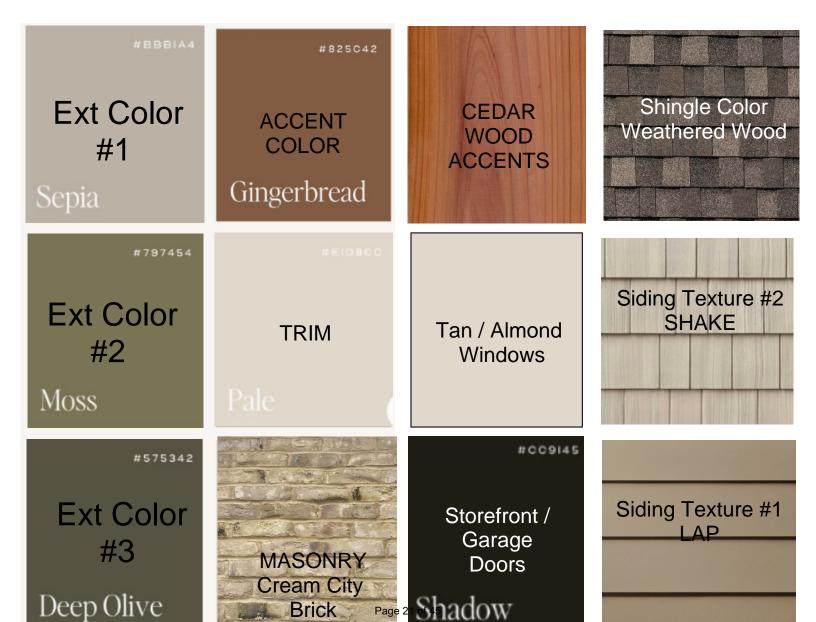


3



PLYMOUTH - EASTERN AVE Marsh Aesthetic Color Scheme

Lake / Cottage look with the shake siding accents and cream city brick.
Warm Neutrals and Greens with pops off burnt orange & cedar accents



Page 22 of 45



PROJECT INFORMATION

ULTI-FAMILY DEVELOPMENT FOR TOWN PARTNERS

N AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 17, 2024
JAN. 13, 2025
FEB. 3, 2025
FEB. 6, 2025

JOB NUMBER 240256900

A1.1A

Page 23 of 45

EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

TERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

DEC. 17, 2024
JAN. 20, 2025
FEB. 3, 2025
FEB. 6, 2025

ов NUMBER 240256900

A1.1B

ЈОВ NUMBER240256900

A2.0



FRONT ELEVATION — EAST BUILDING

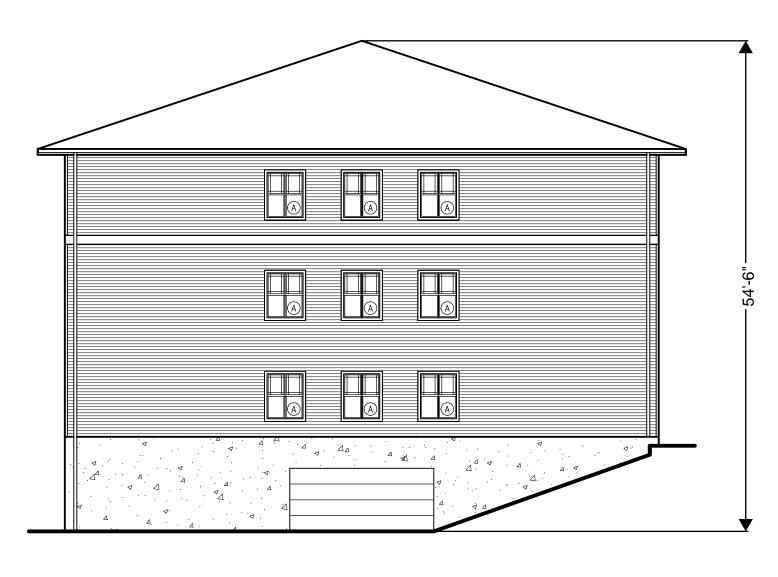
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND:
SIDING - PREMIUM VINYL
ROOF - ASPHALT SHINGLES
WINDOWS - VINYL
GUTTER/DOWNSPOUT/FASCIA/SOFFIT - ALUMINUM
ALL COLORS TO BE DETERMINED



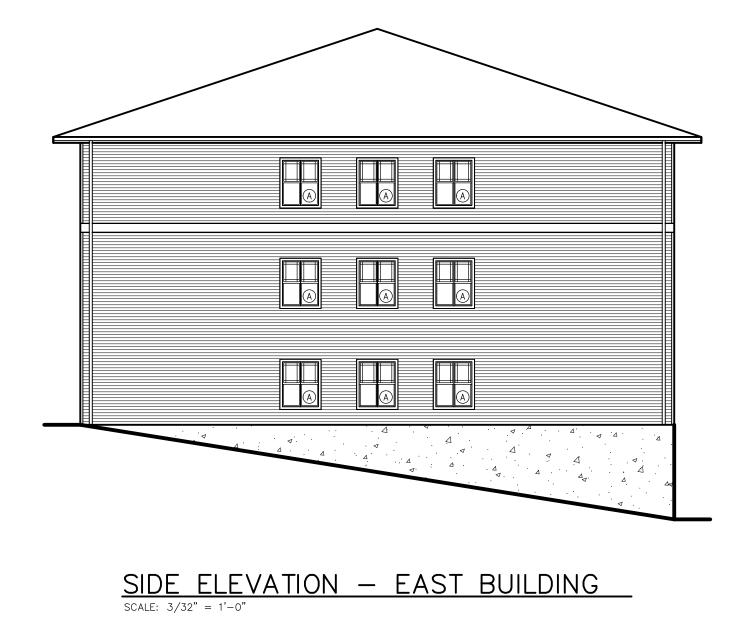
REAR ELEVATION — EAST BUILDING

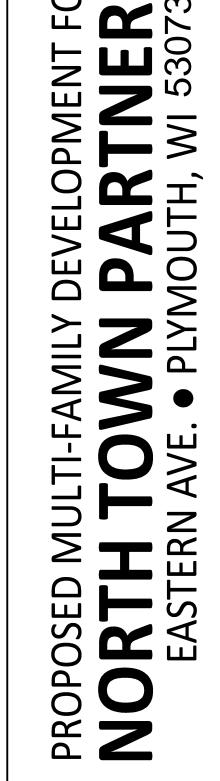
SCALE: 3/32" = 1'-0"

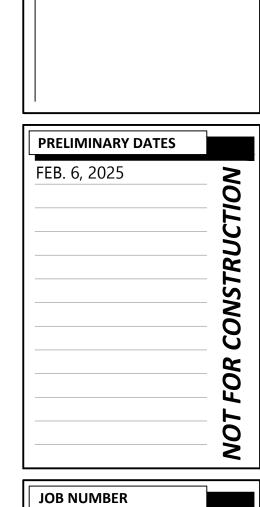


SIDE ELEVATION — EAST BUILDING

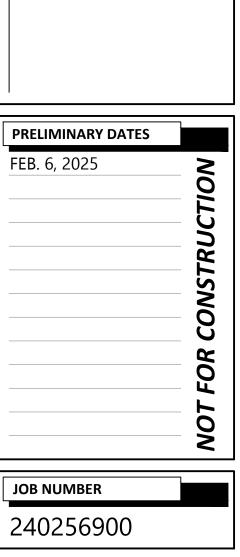
SCALE: 3/32" = 1'-0"







PROFESSIONAL SEAL





FRONT ELEVATION —WEST BUILDING

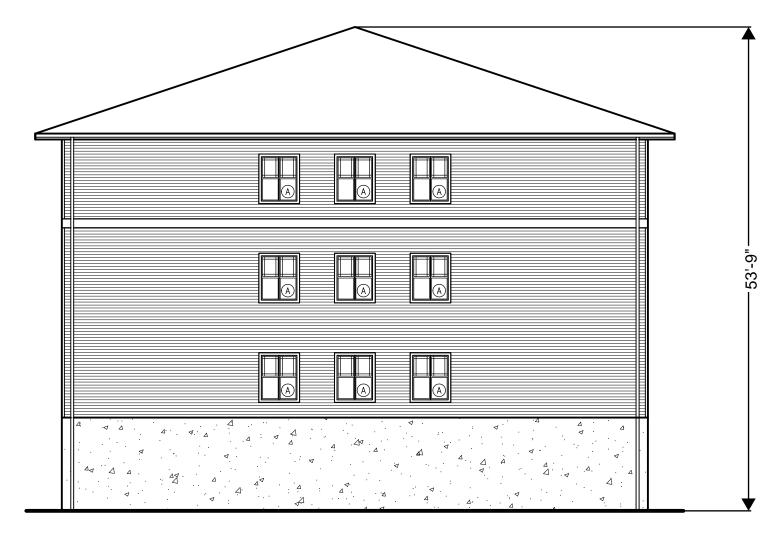
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND:
SIDING - PREMIUM VINYL
ROOF - ASPHALT SHINGLES
WINDOWS - VINYL GUTTER/DOWNSPOUT/FASCIA/SOFFIT - ALUMINUM ALL COLORS TO BE DETERMINED



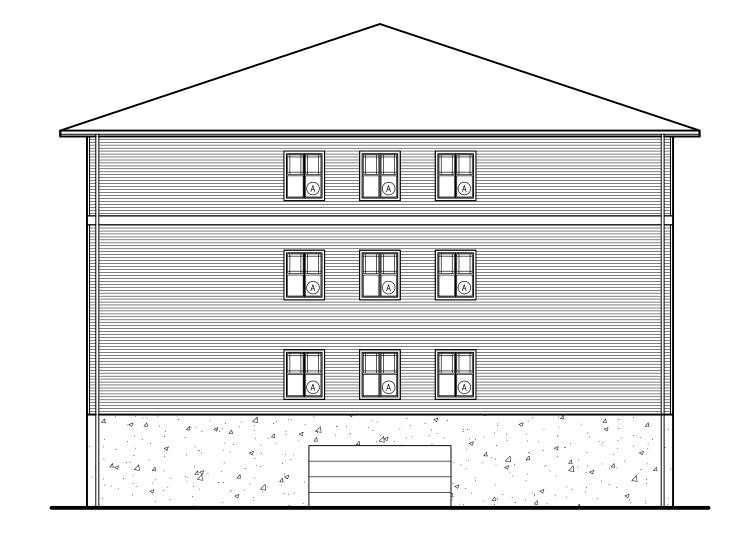
REAR ELEVATION —WEST BUILDING

SCALE: 3/32" = 1'-0"



SIDE ELEVATION — WEST BUILDING

SCALE: 3/32" = 1'-0"



SIDE ELEVATION — WEST BUILDING

SCALE: 3/32" = 1'-0"















State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
1155 Pilgrim Road
Plymouth, WI 53073

March 26, 2020

EXE-SE-2020-60-00906

Van Horn Automotive W5073 County Road O Plymouth, WI 53073

RE: Artificial Wetland Exemption Determination for an area described as Wetland 1A, located in the NW1/4 of the NE1/4 of Section 26, Township 15 North, Range 21 East, City of Plymouth, Sheboygan County

To Whom It May Concern:

This letter is in response to your request for an artificial wetland exemption determination for the above mentioned wetlands.

According to 281.36 (4n), State Statutes, a landscape feature where hydrophytic vegetation may be present as a result of human modification to the landscape or hydrology and for which no definitive evidence exists showing a prior wetland or stream history before August 1, 1991, may be exempt from state wetland regulations. The following types of artificial wetlands cannot be exempted from state wetland regulation:

- 1) a wetland that serves as a fish spawning area or that is passage to a fish spawning area
- 2) a wetland created as a result of a wetland mitigation requirement.

In addition, DNR must also consider whether the artificial wetland is providing significant flood protection to adjacent or downstream properties and infrastructure, and/or significant water quality functions to adjacent or downstream water bodies.

The Department reviewed the following materials to aid in our exemption determination:

- The request narrative
- Historic Maps, including the Original Land Survey Plat, Bordner Survey, the USGS topographic Quad map, and soil mapping.
- Aerial photographs, including the 1937/8 era photograph, a pre-construction photograph, and a post-construction photograph.
- Site photographs that show different angles and views of the wetland
- Wetland delineation report

Below is a summary of our findings:

Request Narrative

According to the request narrative, a portion of wetland 1 identified as wetland 1A (1,931 square feet) is the focus of this artificial wetland exemption request. Wetland 1A is an excavated



swale/ditch constructed during initial site development in 2010, that receives excess stormwater from the developed site to the north. The remaining larger portion of wetland 1 (wetland 1B) was stated to have natural wetland history in the delineation report and is not included in this request.

Historic Map Review

- Original Land Survey Plat. The original land survey indicates a stream runs through the southern half of the site.
- Bordner Survey. The Bordner survey indicates the area is mostly cropland, with upland hardwoods along the eastern and southern border of the parcel.
- USGS Topographic Quad map: The 1956 USGS Quad map indicates a green natural area exists along the eastern and southern parts of the site. The 1974 USGS map shows this identified feature as wetland, which corresponds well with wetland 1B.
- Soil Maps: The soil maps indicate wetland 1A is mostly mapped in Manawa Silt Loam, 1-3% slopes, which is predominantly non-hydric, with hydric inclusions. The southern area around wetland 1B is mapped as Adrian and Houghton mucks, entirely hydric.

Aerial Photograph Review

- 1937/38 era aerial photograph. The 1937/38 aerial photograph shows the area is mostly cropped with a forested area to the east and south.
- aerial photograph review: The aerial photographs show the area is mostly cropped with a
 forested area to the east and south. Some areas of the parcel around wetland 1A and the
 northwest part of the parcel are graded/filled in 1990 due to initial site development for the
 neighboring parcel to the west. Around 2002, a utility/sewer line is installed along the
 eastern border of the parcel. Around 2010, initial building road development for nearby
 business. Wetland 1A appears to be disturbed during these events, wetland 1B appears to
 be natural wetlands.

Site Photographs

The site photographs show that wetland 1A appears to be an excavated swale/ditch with cattails. The rest of wetland 1B appears to be a large natural wetland complex.

Conclusion:

Based upon the information provided above, the wetland identified as Wetland 1A (1,931 square feet), lacked a wetland history prior to August 1, 1991, and fulfills all artificial wetland exemption standards. Therefore, Wetland 1A is exempt from state wetland regulations. Please see the attached figure for reference.

This letter describes DNR's decision regarding the jurisdictional status of Wetland 1A and is only valid for state jurisdictional purposes. <u>For decisions regarding the federal jurisdictional status of Wetland 1A, you will need to contact the U.S. Army Corps of Engineers</u>.

If you have any questions about this determination, please contact me at (715) 492-0200 or email Ryan.Pappas@wisconsin.gov.

Sincerely,

Ryan Pappas

Wetland Exemption Specialist

cc:

U.S. Army Corps of Engineers City of Plymouth Shyann Banker, Evergreen Consultants LLC, Consultant







Sample Point

Wetland Line



Picture Location

Potentially Exempt Wetland

Wetland Delineation was conducted by Chad Fradette, EP, Chem, WDNR Professionally Assured Wetland Delineator with assistance from Benjamin LaCount, PLS, Wetland Scientist,

WDNR Professionally Assured Wetland Delineator and Shyann Banker, Environmental Specialist

Eastern Ave. Property Wetland Delineation Map with Potentially Exempt Wetland City of Plymouth Sheboygan County, Wisconsin

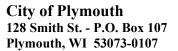
Parcel No's: 59271821042, 59271821071 & 59271821072 Project: SHE19-028-01

240





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Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

DATE: February 26, 2025

TO: Plan Commission

FROM: Cathy Austin, Director of Public Works

RE: North Town Partners – Multi-Family Development

Overview

The proposed 105 unit, (55+ year old) apartment complex has been reviewed by the Public Works Department for compliance with water/sanitary utility and stormwater management requirements.

Public Works Review

Water Main:

- The watermain is private.
- o The proposed connection to the municipal system meets requirements.
- Submit flow data for each building so the Water Utility can ensure proper water meter size.
- o Investigate where the water will flow when the new hydrant is flushed.
- Is the plan to have one (1) water meter per building or will each unit be individually metered? If individual, please submit actual plumbing plans so we can ensure that proper space in the maintenance room is given.

Sanitary Sewer:

- The sanitary sewer is private.
- No concerns; capacity and connection points are adequate.

• Stormwater Management:

- The proposed stormwater management plan complies with city requirements. The pond was constructed in 2023 and designed to handle this development.
- The developer must submit a stormwater maintenance agreement for the detention basin to ensure long-term compliance with maintenance responsibilities. City has sent a draft of the agreement to Excel Engineering.

Traffic Impact Analysis (TIA):

- Still under review by Kapur. Hope to have finalized TIA prior to the Plan Commission meeting. See * note under the Recommendation section below.
 - Review comments thus far from Kapur have indicated the following:

 The trips that are generated from a senior living facility like in this proposed development are roughly half that of a similar size multi-family development (condos/townhomes) for the AM and PM Peaks. This is likely due to a majority of the 55 and older community not commuting to work. There will be some delay for vehicles turning from Carr to Eastern, but the delay and queues are within acceptable limits. The traffic volumes from the Wangard and associated

offsite developments from the previous TIA's were incorporated into the AM Peak, PM Peak and Daily traffic calculations.

Recommendation

The Public Works Department has no objections to the approval of this development, provided that the required stormwater maintenance agreement is submitted and executed.

• NOTE: If the TIA review is not finalized at the time of Plan Commission, approval should be contingent on approval of TIA by the City Engineer.

Plymouth Fire and Rescue

Serving Plymouth since 1868

Ryan Pafford Fire Chief 920-893-3744 rpafford@plymouthfd.com

MEMORANDUM

To: City Administrator Blakeslee, Assistant City Administrator Johnston, Members of the Plan Commission

From: Fire Chief Ryan Pafford

Date: 2/26/2025

Re: North Town Partners Proposal

After reviewing and considering the proposed site plan for the North Town Partners Senior Living Apartment located on Eastern Avenue, an agreement on fire department access, electric vehicle charging locations, and an elevator suitable to accommodate an ambulance cot and 2-3 personnel should be included. With the complex being proposed for 55 and older, it is important that the elevator in the building is large enough to facilitate a 7-foot cot as well as 2-3 emergency responders. It is imperative to have an area for a fire department vehicle to safely maneuver with the proposed site plan. This could be accomplished with a hammerhead area defined on the proposed site plan map. Code reference is the following from NFPA 1, Chapter 18, Fire Department Access and Water Supply;

18.2.3.2.2

Fire apparatus access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire apparatus access roads as measured by an approved route around the exterior of the building or facility.

18.2.3.5.1.1

Fire apparatus access roads shall have an unobstructed width of not less than 20 ft (6.1 m).

18.2.3.5.4 Dead Ends.

Dead-end fire apparatus access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.

If you have any other questions, please reach out.

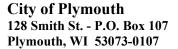
920-893-3744
rpafford@plymouthfd.com

Sincerely,

Ryan Pafford

Chief

Plymouth Fire and Rescue





Telephone: (920) 893-1271
Facsimile: (920) 893-0183
Web Site: plymouthgov.com

DATE: February 25, 2025

TO: Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

RE: Ordinance Amendment Seeking Recommendation: Modifications of Section

13-1-103 and Section 13-1-106 regarding wall sign height restrictions and ground

signs in multi-family residential districts. Johnston (enclosure)

Background:

13-1-103, Sign Height - In November 2024, the City of Plymouth Board of Appeals reviewed a variance request from Sargento to place signage higher that what is allowed by City code on their upcoming LAG building renovation project. While the signage was tastefully designed, state law requires a variance to meet a three-part test to be approved:

- The variance is needed due to an unnecessary hardship caused by zoning.
- A unique property feature is present that created the hardship.
- The variance is not contrary to the public interest.

The request to allow signage higher than permitted by code was denied by the Board of Appeals because it did not meet the three-part test. The bar for achieving a variance is intentionally set high under state law to limit variances to cases of true hardship caused by the zoning code.

Staff discussed this provision of code with the Committee of the Whole at their meeting on January 28, 2025. The Committee's recommendation at that time was to loosen the restriction on sign height placement so long as any ordinance change did not increase the actual size of signage allowed.

13-1-106, Signage in Multi-Family Residential Districts - Staff also discovered that current code language does not explicitly allow ground signage in multi-family residential districts, despite it being already in place for many developments in the City. Examples of this include Songbird Pond Assisted Living, Hunter's Ridge Apartments, and Pleasant View Townhomes, among others. With the Wangard project already being built, and the likelihood of other multi-family residential developments coming to Plymouth, staff would like to right-size the ordinance to allow ground signage for larger multi-family residential developments to follow what has already been historically allowed.

Current Code Language for Sign Height Placement Restrictions

This specific code language regards the B-1, B-2, B-3, CB, LI, and HI zoning districts only. It does not apply to any of the residential zoning districts (wall signs are not allowed in residential districts). The code language is posted below with relevant language in **bold**.

Sec. 13-1-106(a).

Wall signs placed against the exterior walls of buildings shall not project more than 18 inches from a building's wall surface, nor extend above or beyond the wall itself. Total sign area (including multiple business/tenant signs on a single property) shall not exceed one square foot for each lineal foot of the building parallel with the street frontage. Rear or side entrance signs are subject to the same size restrictions as that found at the principal (front/main) entrance to the building. Signs on other building facades (i.e. non-entrance side facades) are limited to one-half square foot per lineal foot of such facade. All signs attached or affixed to a building shall not exceed 20 feet in height above the mean ground grade level, except in the HI, LI, and B-3 districts, where such signs shall not exceed 30 feet in height above the mean ground grade level; roof signs are prohibited.

Current Building Height Restrictions

The City of Plymouth regulates building height in all six of the aforementioned zoning districts. A table showing those height maximums and sign height maximum is provided below. Please note that in "principal" refers to the main building on the parcel such as the retail space in which customers would buy products, and "accessory" refers to a separate buildings whose use is accessory to the principal buildings use, such as a storage shed or garage space.

Zoning District	Maximum Building Height	Maximum Height	Wall	Sign	Placement
B-1	Principal: 60'; Accessory: 25'	20'			
B-2	Principal: 45'; Accessory; 25'	20'			
B-3	Principal: 35' (up to 50' with a conditional use permit); Accessory: 25'	20'			
СВ	Principal: 45'; Accessory; 25'	30'			
LI	Principal: 35'; Accessory; 25'	30'			
HI	45' any structure; up to 80' with conditional use permit	30'			

Community Comparisons/Staff Recommendation For Sign Height:

Staff researched municipal code for many nearby communities of a similar size to Plymouth in regards to sign heigh placement. Sheboygan Falls and Kohler do not limit sign height placement. Other communities may have this provision in their code, but exceptions to the sign code may be granted by their Common Council or Village/Town Board. Staff investigated incorporating an exception process for the Plymouth sign code, but the City Attorney viewed that process as difficult to regulate

The proposed ordinance language removes the height restriction outlined above. The language clarifies that signage cannot be placed above the start of the roof line to ensure that signs do not project above any wall facade. Current code language does not allow roof signage and this ordinance would not change that. The size of allowable signs is also not impacted by the ordinance update.

Current Code Language Restricting Signage in Multi-Family Residential Districts

Current code language specifically disallows commercial signage in residential districts, with limited exceptions. The code language is posted below with the relevant language in **bold.**

Sec. 13-1-103(k). Commercial signs in residential districts. In residential zones or on property used for non-transient residential uses, commercial signs are prohibited except for home occupations or legal nonconforming commercial uses which shall be subject to the provisions of this code.

Staff Recommendation for Signage in Signage in Multi-Family Residential Districts

As ground signage has been historically allowed in multi-family residential districts, staff recommends allowing ground signage in both R-4 and R-6 districts so long as at least 12 dwelling units are present (12 is the maximum allowed in R-4 per building, R-6 allows up to 56 units per building with a conditional use). This language would restrict ground signage to larger multi-family developments while also not inadvertently allowing ground signage on properties with a duplex or smaller multi-family development. The ordinance is also specifically updated to note that any other type of signage (wall signs, projecting signs, awnings, etc.) are not allowed in any residential districts in order to avoid any confusion over the interpretation of the ordinance.

Action Requested:

Motion to recommend the Common Council approve changes as presented in Attachment I. Due to public notice requirements in the newspaper for updates to the Zoning Code, the earliest the Common Council could review the ordinance would be in April.

Attachments:

I. Draft Ordinance

CITY OF PLYMOUTH, WISCONSIN

Ordinance No. X of 2025

AN ORDINANCE AMENDING SECTION 13-1-103 and 13-1-106, ZONING CODE OF THE MUNICIPAL CODE OF THE CITY OF PLYMOUTH, WISCONSIN

WHEREAS, the City of Plymouth is a body corporate and politic within Sheboygan County, Wisconsin; and

WHEREAS, the City Plan Commission and Common Council would like to amend the City Zoning Code regarding signage to allow more discretion of sign placement related to height as well as allow ground signs in multi-family residential districts; and

WHEREAS, the Plan Commission has reviewed the herein ordinance and recommends adoption; and

WHEREAS, the proposed ordinance was noticed in the Plymouth Review as a class 2 notice and a public hearing for the ordinance was held before the Plymouth Common Council; and

NOW, THEREFORE, the Common Council of the City of Plymouth does hereby ordain as follows:

Section 1. Amending Code. The following sections of the Municipal Code of the City of Plymouth is hereby amended to read as follows (deletions indicated by strikeout; insertions by underline):

Section 13-1-104 Prohibited signs

k. Commercial signs in residential districts. In residential zones or on property used for non-transient residential uses, commercial signs are prohibited except <u>as provided in section 13-1-106</u>, <u>as well as</u> for home occupations or legal nonconforming commercial uses which shall be subject to the provisions of this code.

Section 13-1-106 Commercial & multi-family residential signs permitted.

Signs are permitted in the B-1, B-2, B-3, CB, LI, and HI, R-3, R-3A, R-4, and R-6 districts, subject to the regulations of the city Code and the following restrictions:

a. Wall signs placed against the exterior walls of buildings shall not project more than 18 inches from a building's wall surface, nor extend above or beyond the wall itself. Total sign area (including multiple business/tenant signs on a single property) shall not exceed one square foot for each lineal foot of the building parallel with the street frontage. Rear or side entrance signs are subject to the same size restrictions as that found at the principal (front/main) entrance to the building. Signs on other building facades (i.e. non-entrance side facades) are limited to one-half square foot per lineal foot of such facade. All signs attached or affixed to a building shall not exceed 20 feet in height above the mean ground grade level; except in the HI, LI, and B-3 districts, where such signs shall not exceed 30 feet in height above the mean ground grade level; A wall sign shall not extend above the lowest point of the roof nor beyond

the ends of the wall to which it is attached, and not extend more than eighteen inches outside a building's wall surface; roof signs are prohibited. Wall signs are not allowed in residential districts.

- b. Projecting identification signs not exceeding two sign faces per business shall be permitted, but not to exceed two such signs per building. [Such signs are limited to identifying the business name and street address only but may include the trademarked names or logos of products sold by the business provided the size of such logos and trademarks do not exceed one-half the size of the name of the business selling the trademarked products, excepting from such size limitation those businesses where the business name is trademarked (i.e. McDonald's, Hardee's, etc.)] Projecting signs fastened to, suspended from, or supported by a building shall not extend more than five feet, shall not be less than ten feet above the sidewalk nor less than 15 feet above a driveway or alley, and shall not exceed 20 square feet in size. Maximum height shall not exceed 15 feet or front of facade, whichever is less, and shall be located a minimum of ten feet from a side lot line. Projecting signs shall not be internally illuminated. Exterior neon lights shall be permitted, and are not considered as being internally illuminated. Projecting identification signs are not allowed in residential districts.
- c. Pole signs shall not exceed 20 feet in height in the B-1, B-2, and LI districts, and 30 feet in height in the B-3 and HI districts. Height is measured above the mean centerline of street grade. The sign shall be completely within the property upon which it is located. One pole sign per street frontage is permitted. Size is limited to 100 square feet for one side, or 200 square feet for all sides. When there exists a property zoned in the B-3 or HI districts with continuous road/highway frontage in excess of 300 feet, the size is limited to 200 square feet per side or 400 square feet for all sides. Any pole sign in the B-3 business district shall have a minimum landscaped area of 16 square feet around the base of the pole unless a waiver thereof is granted by the plan commission. Poll signs are not allowed in residential districts.
- d. Ground signs shall be limited to 100 square feet for one face or 200 square feet for all faces in the B-1, B-2, CB, LI, R-4, and R-6 districts. Ground signs in residential districts shall be limited to one ground sign on the parcel and should only be allowed for parcels with multifamily residential uses with at least 12 individual dwelling units on the property only. When there exists a property zoned in the B-3 or HI districts with continuous road/highway frontage in excess of 300 feet, the size is limited to 200 square feet per side or 400 square feet for all sides. One ground sign is permitted on a street frontage provided there is no pole sign on that side. Any ground sign in the B-3 business district shall have a minimum landscaped area of 16 square feet around the base of the ground sign unless a waiver is granted by the plan commission.
- e. Combinations of any of the above signs shall meet all the requirements for the individual sign.
- f. Signs in the B-1, B-2, B-3, and CB districts shall only advertise on-site businesses and events. In instances where the property owner or business tenant wishes to erect a sandwich board, there is a limit of one sandwich board per business tenant and such sign shall not exceed four feet in height and eight square feet per side display area.
- g. Exterior neon or gas illumination signs. These signs are not allowed in residential districts.

	The size of support of the total required for su	ch printing shall no I permissible wall s	t exceed 25 p signage area ngs with profe	n-printed lettering and/or symbols are permitted percent of awning surface and is calculated as a for the building's facade. A sign permit is essionally painted or screen-printed lettering districts.	
Code S	Section 2. ection be decla	ared unconstitution	• •	tion of this Ordinance or the affected Municipa by a court of competent jurisdiction, the	al
	Section 3.	Effective Date.	This Ordinand	ce shall take effect the day after publication.	
	Enacted on			_, 2025.	
			CITY C	OF PLYMOUTH	
			Ву:		
				Donald O. Pohlman, Mayor	
			Date: _		
		CLERK'S C	FRTIFICATE	OF ENACTMENT	
		<u>GEERIK G G</u>	LITTITIONIE	<u> </u>	
	•			was duly enacted by the City of Plymouth dates indicated above.	
Dated:		, 2024			
				Anna Voigt, Clerk	