

City of Plymouth Plan Commission

Members: Please notify us if you are unable to attend the meeting.

Chairman; Mayor Don Pohlman

Members:

Jane Meyer
Jeremy Schellin
Greg Hildebrand
Ron Nicolaus
John Wyatt
Justin Schmitz

The City of Plymouth Plan Commission will have a meeting on **Thursday, March 6, 2025 at 6:00 PM in Room 305, City Hall, and Plymouth, WI.**

The agenda will be as follows:

- 1.) Approval of Minutes from February 6, 2025.
- 2.) **Public Hearing:** A public hearing to take comment on a conditional use permit application for the following:
 - a. 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding the construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein (enclosure)
- 3.) **Conditional Use Permit Seeking Approval:** 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding the construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein (enclosure)
- 4.) **Site Plan Seeking Approval;** 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding proposed site plan improvements and construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over. North Town Partners/Merklein (enclosure)
- 5.) **Ordinance Amendment Seeking Recommendation:** Modifications of Section 13-1-103 and Section 13-1-106 regarding wall sign height restrictions and ground signs in multi-family residential districts. Johnston (enclosure)
- 6.) **Communication – Letters, E-mails, or reports Related to the Plan Commission**
(Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderspersons)

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at

the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City of Plymouth ADA Coordinator Leah Federwisch, located in the Plymouth Utilities office at 900 County Road PP, Plymouth, WI or call 920-893-3853

City of Plymouth Plan Commission

UNOFFICIAL MINUTES FEBRUARY 6, 2025

Mayor Pohlman called the meeting to order at 6:00 PM on February 6, 2025. The following members were present: Jane Meyer, Jeremy Schellin, Greg Hildebrand, Ron Nicolaus, John Wyatt, and Justin Schmitz. Also present: City Administrator/Utilities Manager Tim Blakeslee, Assistant Administrator/Community Development Director Jack Johnston, Fire Chief Ryan Pafford, and City Clerk/Deputy Treasurer Anna Voigt.

- 1.) **Approval of Minutes from January 9, 2025:** Motion was made by Nicolaus/Schellin to approve the minutes. Upon the call of the roll, all voted aye. Motion carried.

- 2.) **Site Plan Seeking Approval; 3424 County Road PP, Lawn Boy Inc. (dba The Toro Company), for the installation of a 900 square foot smoking shelter.:** Jared Voskuil from A. Chappa Construction explained that they are looking for approval for a 900 square foot smoking shelter at Toro. Pohlman asked if there are any staff concerns. Johnston stated there are no concerns from staff. The property is zoned properly, wetlands exist along the east side of the driveway off of CTH PP. There is also a small pond located on that portion of the property. There are no concerns of floodplain. Both Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns. Motion was made by Wyatt/Nicolaus to approve the site plan at 3424 County Rd PP, The Toro Company for the installation of a 900 sq ft smoking shelter. Upon the call of the roll, all voted aye. Motion carried.

- 3.) **Concept Plan Seeking Feedback; 5874 N. Pleasant View Rd, Nass Builders LLC., regarding a concept plan for a condominium development and possible future subdivision plat.** Andrew Nass from Nass Builders LLC explained that he is presenting a concept of building six-building duplexes off of N. Pleasant View Rd. Pohlman asked if there were any concerns from the staff. Johnston explained the condo shows 15 feet in the rear yard setback so some adjustments would have to be made on the site plan. are some floodplain and wetland maps showing a small encroachment of wetlands. Johnston also noted there is a small stream on the site plan. Staff does recommend conducting a wetland delineation if there hasn't been a recent one on file. Also, a rezone and condo plat process would have to be done. Nass stated Hartland Environmental would be doing the delineation. Pohlman asked if there would be a private road through the development. Nass stated yes there is already curb cut for a private drive. Chief Pafford stated that he has talked with Nass about the minimum width a private drive needs to be. Hildebrand asked Nass if by the time site plan comes back to the commission all the things talked about will be taken care of? Nass stated that before resubmitting the wetland delineation would be done, mapping, and storm water retention he would work with the City to take care of. Schmitz asked if the concept would be the same side by sides as the ones on Hummingbird. Nass stated that they probably won't be as big, but the same idea 1500 sq ft., two bedrooms attached garages. Blakeslee asked what the timing might be from for phase one, two and three? Nass stated that condos would be phase one. Pohlman stated that an important thing to do is to get the drainage size correctly so you only have to do it once for the whole area. Nass stated he will be working with Rodger Storm to have everything hashed out so there are no ponds on Pleasant View. Schellin asked if he

considered routing the private road from the condos to the public roads. Nass stated that he decided to go with a private road for future buyers, thinking that it would make it more private and less traffic flow. Nicolaus asked if the county had been contacted. Johnston stated that he contacted the County to see if there were any permits in regard to wetlands. Since it is in the City they didn't have any permits, it would be the City's responsibility. Nicolaus noted that the Tallgrass subdivision there is no on street parking. Johnston stated that staff would work with Nass on completing the list of things talked about before coming back to Plan Commission for a site plan review.

4.) Communication – Letters, E-mails, or reports Related to the Plan Commission (Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderspersons): Blakeslee stated that Wangard is continuing their development.

Motion was made by Nicolaus/Schmitz to adjourn the meeting. A unanimous aye vote was cast. Motion carried.



DATE: February 28, 2025

TO: Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

RE: **Conditional Use Permit Seeking Approval:** 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding the construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein (enclosure)

Site Plan Seeking Approval; 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding proposed site plan improvements and construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over. North Town Partners/Merklein (enclosure)

Background:

North Town Partners, formerly Van Horn Development, has submitted a conditional use permit and site plan review application for a new 55+ and over multi-family residential development. The project site is located directly south of Scooter's Coffee, Jimmy John's, and Advance Auto Parts and would have access off of a shared driveway south of the Eastern Avenue and Carr Road intersection.

The property originally existed as two distinct parcels which have since been merged into one parcel. In order to prepare the site for the project, the applicant sought a rezone and comprehensive plan amendment for both parcels in late 2024 and early 2025 to obtain R-6 zoning on both parcels as R-6 is the only residential zoning district that allows the number of residential units they are requesting. Both parcels also needed consistent zoning to be merged. The final rezone and comprehensive plan amendment was approved at the Common Council meeting on January 14, 2025. This allows the applicants to move forward with a site plan and conditional use permit review for this project.

The applicants have indicated that the project will be completed in phases, with the initial development (Phase 1) consisting of two three-story multi-family residential buildings. Building one will contain 54 units and building two will contain 51 units. The third residential building located on the property's north side is not included in Phase 1 of the development plan. In order to construct the second phase of the project, the applicants will have to come back to the Plan Commission for an additional site plan review, a TID amendment, and a conditional use permit amendment.

Comprehensive Plan/Zoning/Setbacks:

In total, the property is approximately 11.06 acres and is vacant with wetlands throughout the property. As noted above, the property recently went through comprehensive plan and rezoning approvals in order to conform with zoning code and allow this project to move forward. The proposed project conforms with the City’s Comprehensive Plan for the area.

The property has R-6 High Density Multi-Family Residential District zoning. R-6 allows multiple-family dwellings between 29 to 56 dwelling units per building through a conditional use permit per Plymouth Municipal Code 13-1-28(c)(4). The buildings proposed at this time are 51 units and 54 units respectfully, which are allowed in R-6 through a conditional use permit only.

City staff has provided the zoning matrix below that indicates no issues with the site plan in respect to setbacks in R-6, building heights, lot coverage, and lot width.

ZONING CONSISTENCY MATRIX		
	<i>Required</i>	<i>Provided (Both Phases)</i>
Zoning	R-6	R-6
Minimum Frontage	60'	60' along Eastern Avenue
Maximum Lot Coverage of All Buildings (including phase 2)	50%	13.2%
Minimum Lot Width at Building Line	100'	>300'
Minimum Front Yard Setback	30'	30' (phase 2 building)
Minimum Side Yard Setback		
Principal Building	10'	30' eastern boundary
Accessory Building	5'	n/a
Minimum Rear Yard Setback	25'	>200'
Maximum Height Principal Structures	56'	54'6" for east building 53'9" for west building

Residential Unit Sizes:

The units will range between one and three bedrooms. One-bedroom units are approximately 744 square feet, two-bedrooms range between 934 square feet and 1,091 square feet, and the three-bedroom units are approximately 1,324 square feet, R-6 zoning requires an “average of 600 square feet per dwelling unit on any one floor of a multi-family dwelling except that no individual unit shall have floor space of less than 500 square feet on any one floor.” The provided unit sizes for this development are permissible by code.

Parking/Refuse/Pickleball:

All buildings will have underground parking for residents in addition to surface parking lot spaces for residents and visitors. The submitted site plan indicates Phase 1 of the development (southern two buildings) will contain 230 parking spaces (120 surface parking spaces and 110 underground parking spaces) Phase 2 of the development currently contains 27 additional surface parking lot spaces and 50 underground parking spaces. City Code requires a minimum of 1.5 spaces per dwelling unit in R-6 meaning that Phase 1 would require 156 total parking spaces. The submitted site plan indicates that Code requirements for parking are met for Phase 1. When including Phase 2 of the development, City Code would require 234 parking spaces. The submitted site plan appears to be in adherence with code requirements for off-street parking.

Waste enclosures will be located internally to the buildings with no exterior enclosures. The applicant will be responsible for finding suitable refuse and recycling collection for future residents. A pickleball court is also proposed in the center of the development for residents to utilize.

Lighting/Landscaping Plan:

The submitted lighting plan shows the installation of nine (9) 23' tall light poles as well as two (2) 12' wall sconces on the north side of the Phase 1 buildings at the underground garage entrances. The lighting plan shows very minimal light spillage on the northwestern and northeastern boundaries of the parcel. The light spillage is not adjacent to residential neighbors. City code does not require complete light containment and the submitted plan appears to mitigate that as much as possible. Staff has no concerns with the lighting plan.

The submitted landscaping plan calls for the installation of a combination of deciduous and evergreen trees and bushes. Specifically, the landscaping plan calls for the installation of 27 evergreen trees with a 6' height at the time of planting. The deciduous trees will be installed at a 2" caliper width and the plan calls for installation of seven of those trees. Many of the trees are planned to be planted on the west side of the parcel to help screen future residences from the back of the Pick-n-Save building to the west. Other plantings are proposed throughout the parking lot area to add character and break up the pavement. Shrub plantings are mainly proposed in front of the eastern most building as a design element and to transition from the parking lot to the residences.

Access:

The parcel is a flag lot with 60' of frontage along Eastern Avenue that is currently used as a shared driveway to connect motorists to Advance Auto Parts, Jimmy John's, and Scooter's Coffee to the west and the Bell Bank Mortgage building to the east.

Traffic Impact Analysis/Eastern Avenue & Carr Road Intersection:

City Code requires a traffic impact analysis for any development proposing 100 or more dwelling units or a development that requires conditional use approval. As the development will ultimately contain over 150 residential units, a TIA has been submitted as required by Code.

The TIA indicates that a traffic signal is not warranted for the development, though the City will discuss the option of a traffic signal with the applicant as part of the developer's agreement for the TID as future growth is anticipated in the city. The TIA is being reviewed by Kapur Engineering and their findings will be provided to the Plan Commission should they be available by the meeting date. Initial review comments are included in the review letter from DPW Director Austin in Attachment III.

Stormwater Report/Wetlands/Erosion Control:

A good portion of the property is within a wetland. The applicant has submitted a Stormwater Report and wetland delineation conducted in September of 2019. The wetland delineation map indicates that the proposed development will not encroach on existing wetlands on site, with the exception of the driveway entrance to the development on the northeast corner of the property. However, that portion of wetland (approximately 1,931 square feet) lacked a wetland history prior to August 1, 1991, and fulfills all artificial wetland exemption standards. Therefore, it is exempt from state wetland regulations per Wisconsin DNR Wetland Exemption Specialist Ryan Pappas (letter and map attached).

The full stormwater report is available to Plan Commissioners upon request. It is nearly 500 pages so it is not included in the packet materials. DPW Director Austin noted the proposed stormwater management plan complies with city requirements. The developer must submit a stormwater maintenance agreement for the detention basin to ensure long-term compliance with maintenance responsibilities. City has sent a draft of the agreement to Excel Engineering. The full DPW review letter is attached as Attachment III.

Plymouth Fire Department Review:

The application materials were also sent to the Department of Public Works and Plymouth Fire Department for review. Fire Chief Pafford noted an agreement on fire department access, electric vehicle charging locations, and an elevator suitable to accommodate an ambulance cot and 2-3 personnel should be included as conditions for approval. The review letter indicated the proposed hammerhead turnaround on the southern end of the site plan should allow fire department

vehicles to safely maneuver with the proposed site. The full review letter is attached as Attachment III.

TID #7:

2831 Eastern Avenue is included in TID #7, created on September 24, 2024. TID #7 is a Mixed-Use District comprising approximately 246.47 acres in the eastern part of the City. As a mixed-use TID, no more than 35% of the district can consist of newly platted residential properties. Phase 1 of 2831 Eastern Avenue was designated as a site for newly platted residential development in the TID #7 project plan. Therefore, residential development is permitted at this site without requiring an amendment to the TID project plan.

Phase 2 of 2831 Eastern Avenue would require a TID #7 amendment to be approved by the Common Council and Joint Review Board before residential construction can proceed on this parcel. This is necessary because reclassifying the parcel as Residential would exceed the 35% residential threshold permitted in TID #7.

If a TID development incentive is requested, the developer must collaborate with City staff on a pro forma review through Ehlers and enter into a development agreement. Approval of any such agreement is solely at the discretion of the Common Council and requires their review and approval. Additionally, any development incentive must satisfy the "but for" test, meaning the development would not occur—or not occur in a manner that serves the City's best interests—without the use of TID Funds.

Conditional Use Permit Standards for Approval:

Multiple-family dwellings between 29 to 56 dwelling units per building are listed as a conditional use in the R-6 district. In making a motion, any decision to approve or deny a conditional use permit application must be supported by substantial evidence. The Plan Commission shall address the following, as no application for a conditional use shall be granted by the Plan Commission unless the following conditions are present as noted in PMC 13-1-28(f)(1):

- That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district, and as recommended in the City of Plymouth Comprehensive Plan.
- That adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- That the conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.
- That the proposed use does not violate floodplain regulations governing the site.
- That, when applying the above standards to any new construction of a building or an addition to an existing building, the plan commission and common council shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objective of the zoning district.
- That the plan commission and common council shall also evaluate the effect of the proposed use upon:
 1. The maintenance of safe and healthful conditions.
 2. The prevention and control of water pollution including sedimentation.
 3. Existing topographic and drainage features and vegetative cover on the site.
 4. The location of the site with respect to floodplains and floodways of rivers and streams.

5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
6. The location of the site with respect to existing or future access roads.
7. The need of the proposed use for a shoreland location.
8. Its compatibility with uses on adjacent land.
9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

Draft Conditions for Permit:

City Staff and City Attorney Fieber have provided nine (9) conditions to be adhered to within the conditional use permit and have supplied the draft conditions to the applicant for comment. The draft conditions are listed below for Plan Commission review and consideration:

1. The Conditional Use Permit (CUP) is issued to Plankview Green Development LLC (dba North Town Partners) for the development, use, and location approved by the City of Plymouth Plan Commission on March 6, 2025 for Phase 1 of their development.
2. The issuance of this Conditional Use Permit is contingent on a Developer's Agreement being approved by the City of Plymouth, Wisconsin Common Council and recorded at the Sheboygan County of Register of Deeds Office.
3. The use of the property shall be for multi-family dwelling units of residents age 55 and over. If the owner would like to change this, a CUP amendment would be required to be approved by the City of Plymouth Plan Commission.
4. Building Plans: Building Plans, building materials, and building colors shall comply with the architectural renderings provided to the Plan Commission at their March 6, 2025 meeting. No building or grading can be commenced until property permits have been granted by the City of Plymouth Public Works Department and City Building Inspector.
5. Plymouth Fire Department: The sprinkler system layout for all building shall be provided to and approved by the Plymouth Fire Department prior to occupancy permits being issued. A map of any and all electrical vehicle (EV) charging stations shall be provided to the Plymouth Fire Department. At least one elevator in each residential building should be built to accommodate at least one 7-foot cot as well as 2-3 emergency responders. The applicant must submit their elevator design and location to Plymouth Fire Department for review and approval.
6. Site Plans: Site development shall comply with the engineering plans provided to the Plan Commission at their March 6, 2025 meeting, including site layout, grading, lighting and landscaping. City staff will confirm compliance with the approved plans prior to final occupancy permits being issued.
7. Phase 2 of the development shall require an additional site plan review by the Plymouth Plan Commission, a TID #7 amendment, development agreement amendment, and a conditional use permit amendment being approved.
8. Future ground sign location and sign renderings shall be approved by the Plan Commission through the site plan review process.
9. The CUP is valid and in effect so long as the provisions found in PMC 13-1-70 are satisfied.

Public Notices:

Conditional Use Permit applications require a class 2 notice in the newspaper in consecutive weeks with the last notice published 7 days before the public hearing at the Plan Commission meeting, as well as notification letters sent to all property owners within 100' of the subject property's boundaries. As such, a legal notice was published in the *Plymouth Review* on February 14 and February 21 regarding this application. A mailer was sent to nearby property owners within 100' on February 11. The public hearing required for conditional use permit applications will be held at the Plan Commission meeting on March 6.

Staff Recommendation:

Staff has reviewed the site plan and conditional use permit application and recommend approval of both applications with the listed conditions for the conditional use permit. In the motion for the conditional use permit application, staff requests the Plan Commission's motion includes a note that the standards for approval found in PMC 13-1-28(f)(1) are met and satisfied*

*If the TIA analysis from Kapur Engineering is not available by the date of the meeting, DPW Director/City Engineer Austin also requests the motion for approval be contingent on approval of the TIA by the City Engineer.

Action Requested:

Staff requests the Plan Commission hold a public hearing for the conditional use permit application and consider a motion on both the conditional use permit application and the site plan review as separate motions.

Attachments:

- I. Applicant Materials
- II. WDNR Wetland Exemption Letter
- III. Director Austin and Fire Chief Pafford Review Comments

Action	Date	Status
Mail CUP notice to nearby owners; Mail CUP notice to Plan Commissioners and Common Council	2/11/2025; 2/25/2025	Mailed
CUP Public Notice in <i>Plymouth Review</i>	2/14/2025 & 2/21/2025	Published
Plan Commission meeting & Public Hearing For CUP and Site Plan Review	3/6/2025	This Meeting



February 6, 2025

Project Narrative – Site Plan Review & Conditional Use Permit

Project: North Town Partners – Multi-Family Development
Eastern Ave
Plymouth, WI

North Town Partners is requesting site plan review and conditional use permit review and approval for a multi-family development for residents aged 55+ located off of Eastern Avenue (parcels 59271821077 & 59271821078) in the City of Plymouth. The parcels will be combined via Affidavit to Merge Real Estate and will be recorded prior to the March Plan Commission meeting. The parcels have recently been rezoned to R-6 to allow for the proposed project.

The first phase of the development will include (2) buildings; Building 1 with 54 units and Building 2 with 51 units. A future Building 3 is proposed on the north end of site and will have 51 units. Per City zoning ordinance, a Conditional Use Permit is required for any multi-family dwellings between 29-56 units. The (3) buildings will be approximately 21,000 SF, 3-story and have underground parking. The overall property is 11.06 acres and the proposed area of disturbance for the project is 5.12 acres. Exterior materials are represented in the attached color elevations and will consist of a marsh aesthetic color scheme as shown in the attached color scheme document. Building materials will consist of high-end materials to compliment the adjacent structures. Waste enclosures will be located internally to the buildings with no exterior enclosures. An outdoor pickleball court is proposed with the development.

Access to the site is proposed via an extension of the commercial driveway for the existing auto parts and bank on the south side of the intersection of Eastern Ave and Carr Road. A traffic impact analysis (TIA) has also been completed and is included for review. The TIA indicates there is no necessary improvements to the existing intersection. Adequate parking will be provided and includes underground parking with each of the buildings along with surface parking. Parking totals include 230 parking spaces (120 surface and 110 underground). An additional 27 surface parking spaces and 50 underground parking spaces are proposed for the future building on the north.

Landscaping will be provided in an approach that ensures species resiliency and complementary aesthetics and meets City zoning ordinance requirements. Site lighting will be provided through various site light poles and building mounted lights that provide appropriate foot candles for safety and cut-off fixtures for minimal light trespass.

The delineated wetland complex on the south & east side of the property will be avoided by the development. Mapped Floodplain (Zone A-Unstudied) exists along the wetland boundary and no additional fill or compensation is required. All necessary stormwater improvements were provided with the 2022 master development project for this site. The master stormwater calculations included a combined lot coverage of 3.85 acres of impervious surfaces and the proposed improvements include roughly 3.38 acres.

The proposed developed property will be a positive change to the area, help to meet the current housing demands of the area, maximize and optimize the site developed area while protecting the wetland areas on site, and fit with the character of the existing neighborhood. The project will have no negative impact on neighboring properties.

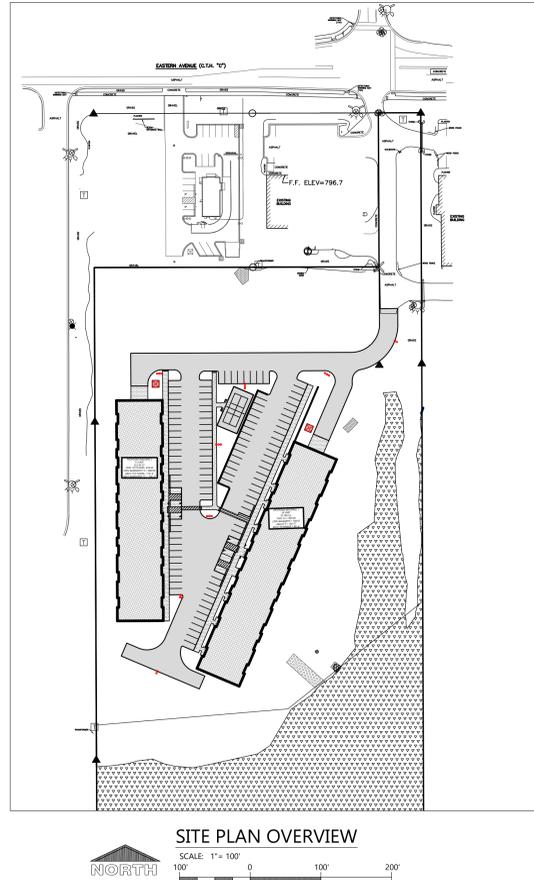
PROPOSED MULTI-FAMILY DEVELOPMENT FOR: NORTH TOWN PARTNERS

PLYMOUTH, WISCONSIN



PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
EASTERN AVE. • PLYMOUTH, WI 53073



LEGEND

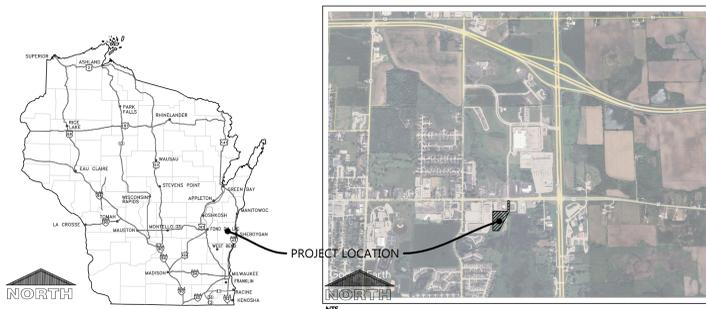
NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
SPOT ELEVATIONS			
1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	1000.00 TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
1000.00 EG	EXISTING GRADE SPOT ELEVATIONS	1000.00 PL	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
1000.00 RW	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL, FG-FINISHED SURFACE GRADE AT FRONT OF WALL	1000.00 HW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
1000.00 FG	EXISTING GRADE SPOT ELEVATIONS	1000.00 RW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
EXISTING SITE SYMBOLS			
⊙	EXISTING SIGN	⊘	EXISTING UTILITY POLE
♿	EXISTING HANDICAP PARKING STALL	⊘→	EXISTING UTILITY POLE WITH GUY WIRE
⊙	EXISTING WATER VALVE IN BOX	⊙→	EXISTING STREET LIGHT
⊙	EXISTING WATER VALVE IN MANHOLE	⊠	EXISTING TELEPHONE PEDESTAL
⊙	EXISTING WATER SERVICE VALVE	⊠	EXISTING ELECTRIC PEDESTAL
⊙	EXISTING WELL	⊠	EXISTING ELECTRIC BOX
⊙	EXISTING STORM CATCH BASIN	⊠	EXISTING FLOOD LIGHT
⊠	EXISTING STORM CURB INLET	⊠	EXISTING TELEPHONE MANHOLE
⊠	EXISTING SQUARE CATCH BASIN	⊠	EXISTING CABLE TV PEDESTAL
⊠	EXISTING LIGHT POLE	⊠	EXISTING GAS VALVE
■	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	⊠	EXISTING HEDGE
●	3/4" REBAR SET WEIGHING 1.50 LB/FT.	⊠	EXISTING WOODED AREA
□	1-1/4" REBAR FOUND	⊠	EXISTING MARSH AREA
○	3/4" REBAR FOUND	⊠	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
⊙	2" IRON PIPE FOUND	⊠	EXISTING CONIFEROUS TREE
▲	1" IRON PIPE FOUND	⊠	EXISTING SHRUB
⊠	SECTION CORNER	⊠	EXISTING STUMP
PROPOSED SITE SYMBOLS			
⊠	PROPOSED SIGN	⊠	PROPOSED STORM FIELD INLET - ST FI
♿	PROPOSED HANDICAP PARKING STALL	⊠	PROPOSED LIGHT POLE
⊙	PROPOSED WATER VALVE IN BOX	⊠	PROPOSED DRAINAGE FLOW
⊙	PROPOSED WATER VALVE IN MANHOLE	⊠	PROPOSED APRON END SECTION
⊙	PROPOSED WATER SERVICE VALVE	⊠	SOIL BORING
⊙	PROPOSED WELL	⊠	CENTER LINE
⊠	PROPOSED STORM CATCH BASIN - ST CB	⊠	PROPOSED CLEANOUT
⊠	PROPOSED STORM CURB INLET - ST CI	⊠	PROPOSED DOWNSPOUT TO GRADE
		⊠	PROPOSED DOWNSPOUT TO RISER. PROVIDE RISER UP TO GRADE.
EXISTING LINETYPES			
—○—	EXISTING CHAINLINK FENCE	—P—	EXISTING POLISH SEWER AND MANHOLE
—○—	EXISTING WOOD FENCE	—P—	EXISTING PROCESS SEWER AND MANHOLE
—*—	EXISTING BARBED WIRE FENCE	—CLW—	EXISTING CLEAR WATER LINE
—	EXISTING CURB AND GUTTER	—FO—	EXISTING UNDERGROUND FIBER OPTIC LINE
—▲—	EXISTING GUARD RAIL	—E—	EXISTING UNDERGROUND ELECTRIC CABLE
—	EXISTING GROUND CONTOUR	—T—	EXISTING UNDERGROUND TELEPHONE CABLE
—800—	EXISTING STORM SEWER AND MANHOLE	—G—	EXISTING UNDERGROUND GAS LINE
—SA—	EXISTING SANITARY SEWER AND MANHOLE	—OU—	EXISTING OVERHEAD UTILITY LINE
—	EXISTING WATER LINE AND HYDRANT	—	RAILROAD TRACKS
—	INTERIOR PROPERTY LINE	—	RIGHT-OF-WAY LINE
PROPOSED LINETYPES			
—○—	PROPOSED CHAINLINK FENCE	—POL—	PROPOSED POLISH SEWER AND MANHOLE
—○—	PROPOSED WOOD FENCE	—P—	PROPOSED PROCESS SEWER AND MANHOLE
—*—	PROPOSED BARBED WIRE FENCE	—CLW—	PROPOSED CLEAR WATER LINE
—	PROPOSED CURB AND GUTTER	—FO—	PROPOSED UNDERGROUND FIBER OPTIC LINE
—▲—	PROPOSED GUARD RAIL	—E—	PROPOSED UNDERGROUND ELECTRIC CABLE
—800—	PROPOSED GROUND CONTOUR	—T—	PROPOSED UNDERGROUND TELEPHONE CABLE
—SA—	PROPOSED STORM SEWER AND MANHOLE - ST MH	—G—	PROPOSED UNDERGROUND GAS LINE
—	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH	—OU—	PROPOSED OVERHEAD UTILITY LINE
—	PROPOSED WATER LINE AND HYDRANT	—	MATCHLINE
—	PROPOSED PROPERTY LINE	—	GRADING/SEEDING LIMITS

PROJECT CONTACTS

OWNER INFORMATION: NORTH TOWN PARTNERS Chris Merklein P.O. BOX 847 Sheboygan, WI 53082 Phone: (920) 838-6628 Email: chris@northtownpartners.com	CIVIL: Devin Writter Phone: (920)322-1777 E-mail: devin.writter@excelengineer.com	CITY PLANNER: Pete Scheuerman Phone: (920)893-3741 E-mail: Zoning@plymouthgov.com	CITY ENGINEER: Cathy Austin Phone: (920)893-1471 E-mail: CAustin@plymouthutilities.com	CITY FIRE CHIEF: Ryan Pafford Phone: (920)893-1331 E-mail: rpafford@plymouthfd.com	CITY BUILDING INSPECTOR: Pete Scheuerman Phone: (920)893-3741 E-mail: inspectorpete@plymouthfd.com	CITY DIRECTOR OF PUBLIC WORKS: Cathy Austin Phone: (920)893-1471 E-mail: CAustin@plymouthutilities.com
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LOCATION MAP



PROJECT NOTES

- GENERAL PROJECT NOTES**
- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
 - CONTRACTOR SHALL INCLUDE COST FOR CLEANING THE EXISTING STORMWATER POND AFTER CONSTRUCTION TO REMOVE ANY SEDIMENT THAT HAS COLLECTED THROUGHOUT CONSTRUCTION AND BRING THE POND BACK TO DESIGN ELEVATIONS. PERMITTING AND REMOVAL OF SEDIMENT SHALL BE COMPLETED BY THE EXCAVATING CONTRACTOR UNLESS OTHERWISE DIRECTED BY OWNER.

CONSTRUCTION STAKING SERVICES

CONTRACTOR STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN COLOR. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
CO.1	CIVIL COVER SHEET
CO.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED)
1-800-542-2289
WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



PRELIMINARY DATES

FEB. 6, 2025

JOB NUMBER

240256900

SHEET NUMBER

C0.1



GENERAL NOTES:
 • CONTRACTOR SHALL VERIFY CLEARING/GRUBBING LIMITS PRIOR TO CONSTRUCTION AND BIDDING.

LEGEND:
 [Green cross-hatch symbol] CLEAR & GRUB VEGETATION
 [X symbol] CLEAR & GRUB TREE

EXCEL
 Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
 EASTERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

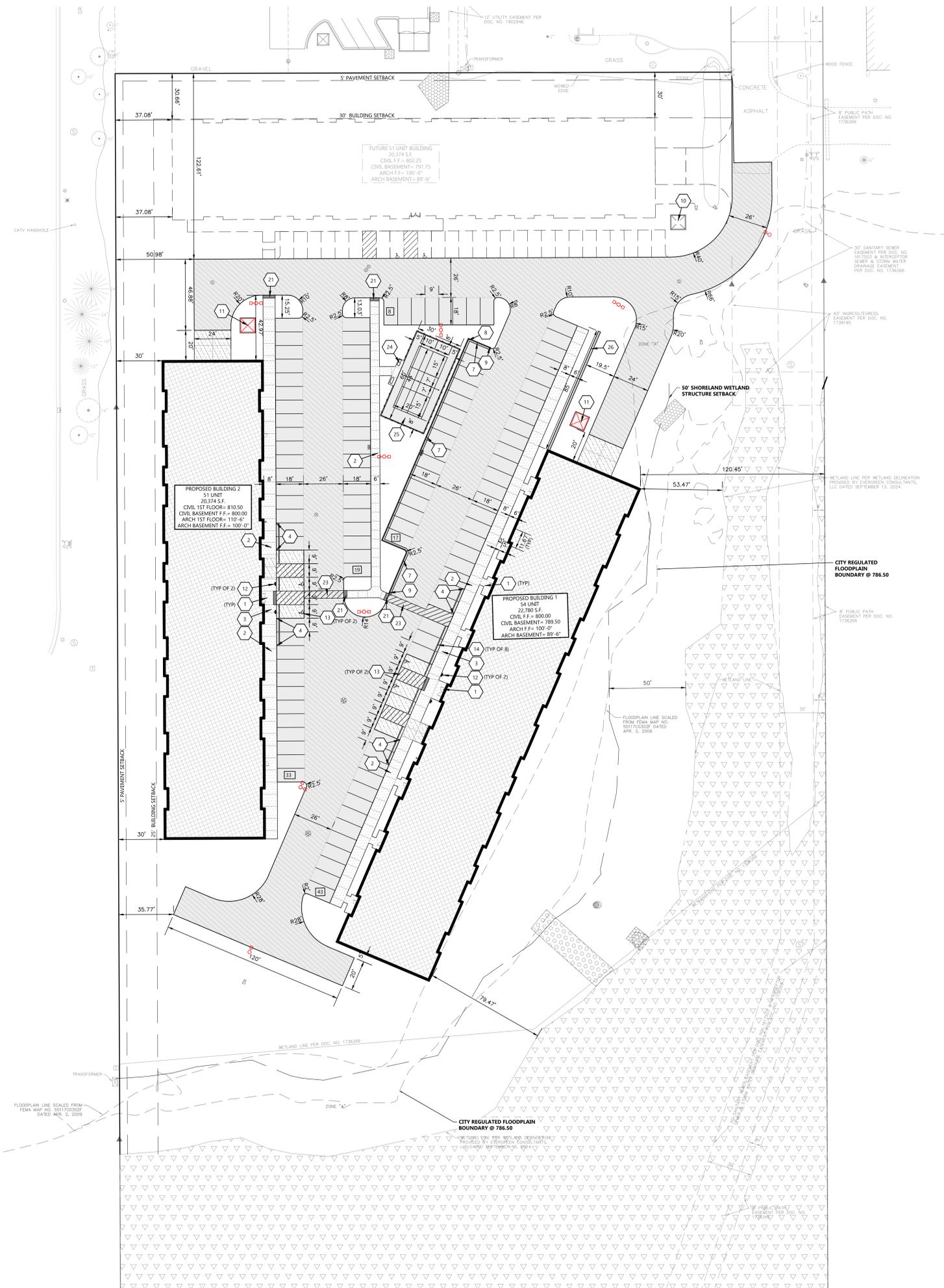
PRELIMINARY DATES
 FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
 240256900

SHEET NUMBER
C1.0





SITE INFORMATION:

PROPERTY AREA: 481,631 S.F. (11.05 ACRES).
 EXISTING ZONING: R-6
 PROPOSED ZONING: R-6
 PROPOSED USE: MULTI-FAMILY
 AREA OF SITE DISTURBANCE: ±223,000 SF (5.12 AC)
 SETBACKS:
 BUILDING: FRONT(NORTH) = 30'
 SIDE(SOUTH) = 25'
 REAR(EAST) WEST) = 10'
 SIDE (EAST) = 50' SHORELAND/ WETLAND
 PAVEMENT: FRONT(NORTH) = 5'
 SIDE(SOUTH) = 5'
 REAR(EAST/WEST) = 5'
 PROPOSED BUILDING HEIGHT: 55' (GARAGE TO PEAK) (MAX. HEIGHT ALLOWED: 56')
 PARKING REQUIRED: 1.5 SPACES PER UNIT @ 156 UNITS W/ FUTURE (234 SPACES REQ.)
 PARKING PROVIDED: 310 SPACES WITH FUTURE SURFACE: 147 SPACES & ACCESSIBLE
 BLDG 1: 60 UNDERGROUND SPACES
 BLDG 2: 50 UNDERGROUND SPACES
 BLDG 3: FUTURE: 50 UNDERGROUND SPACES
 HANDICAP STALLS REQUIRED: 8. HANDICAP STALLS PROVIDED: 8 CURRENT, 12 FUTURE

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.21	9,041	1.9%
TOTAL IMPERVIOUS	0.21	9,041	1.9%
LANDSCAPE/ OPEN SPACE	10.85	472,590	98.1%
PROJECT SITE	11.06	481,631	100.0%

PROPOSED SITE DATA (W/ FUTURE)

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	1.46	63,528	13.2%
PAVEMENT (ASP. & CONC.)	1.93	83,936	17.4%
TOTAL IMPERVIOUS	3.39	147,464	30.6%
LANDSCAPE/ OPEN SPACE	7.67	334,167	69.4%
PROJECT SITE	11.06	481,631	100.0%

KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
3	FLUSH WALK (SEE DETAIL)
4	TAPER WALK 0" TO 6" IN 18" (SEE DETAIL)
7	18" CURB & GUTTER (SEE DETAIL)
8	CURB CUT (SEE DETAIL)
9	CURB TAPER (SEE DETAIL)
10	FUTURE TRANSFORMER PAD
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
14	PRECAST CONCRETE WHEEL STOP (TYP.)
21	DETECTABLE WARNING PLATE PER STATE CODE
23	PAINT STRIPING (TYP.) COLOR TO MATCH PARKING STALL STRIPING
24	SEATING BENCH. FINAL TYPE BY OWNER (2 TYP.)
25	PICKLEBALL COURT W/ NET & POLES, 165' OF 4" BLACK CHAINLINK FENCE, AND STRIPING PER PLAY REGULATIONS. CONFIRM ALL DETAILS W/ OWNER PRIOR TO BIDDING.
26	STRUCTURAL FOUNDATION RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS.

LEGEND:

HATCH	PAVEMENT SECTION
[Hatch pattern]	STANDARD ASPHALT
[Hatch pattern]	HEAVY DUTY ASPHALT
[Hatch pattern]	SIDEWALK CONCRETE
[Hatch pattern]	LIGHT DUTY CONCRETE
[Hatch pattern]	HEAVY DUTY CONCRETE



PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
 EASTERN AVE. • PLYMOUTH, WI 53073

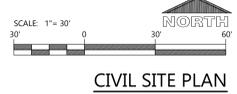
PROFESSIONAL SEAL

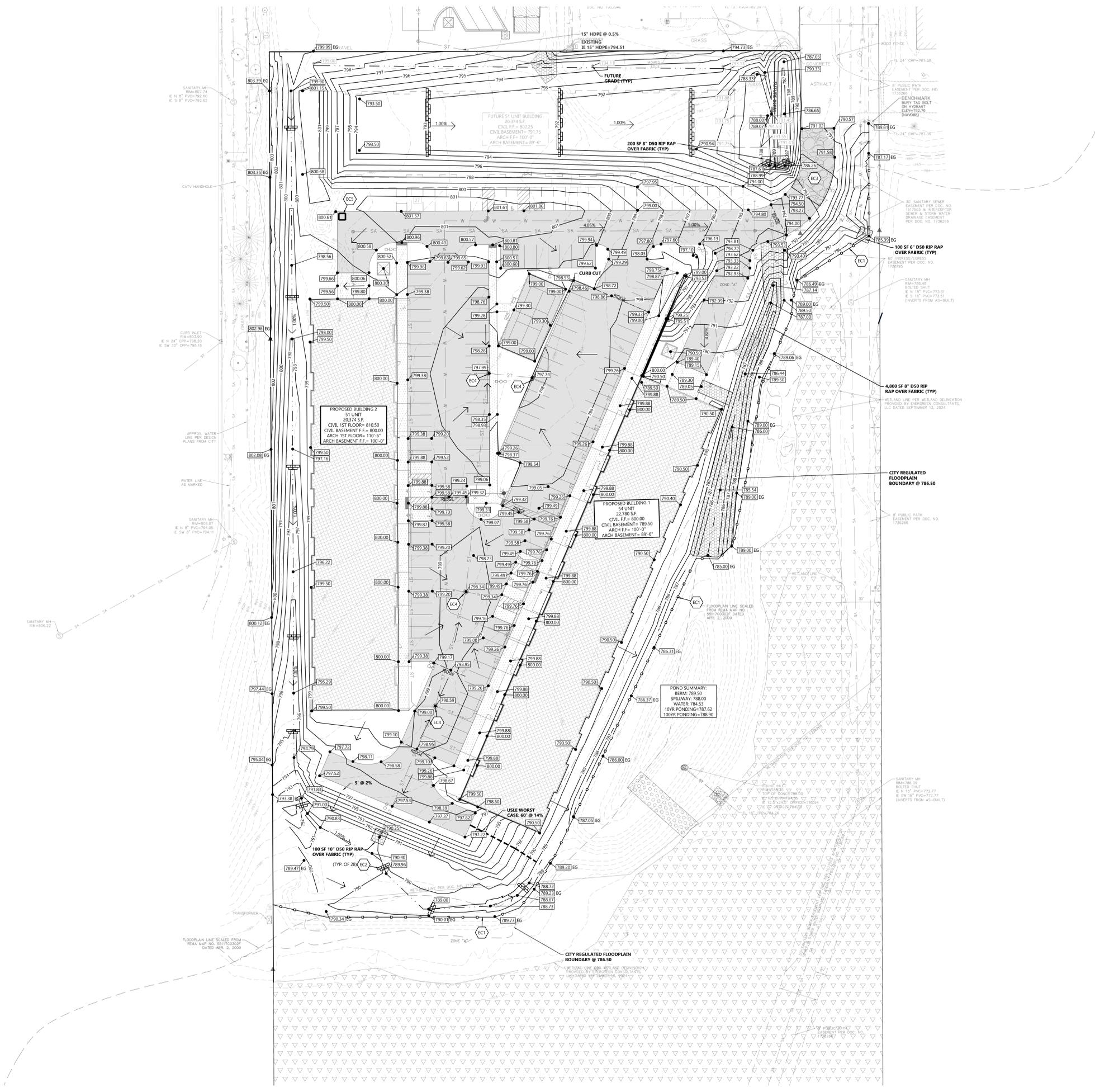
PRELIMINARY DATES
 FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
 240256900

SHEET NUMBER
C1.1





GENERAL NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION).
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
- CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ON-SITE & OFF-SITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.
- CONTRACTOR SHALL INCLUDE COST FOR CLEANING THE EXISTING STORMWATER POND AFTER CONSTRUCTION TO REMOVE ANY SEDIMENT THAT HAS COLLECTED THROUGHOUT CONSTRUCTION AND BRING THE POND BACK TO DESIGN ELEVATIONS. PERMITTING AND REMOVAL OF SEDIMENT SHALL BE COMPLETED BY THE EXCAVATING CONTRACTOR UNLESS OTHERWISE DIRECTED BY OWNER.

KEYNOTES

EC 1	SILT FENCE
EC 2	DITCH CHECK
EC 3	STABILIZED CONSTRUCTION ENTRANCE
EC 4	INLET PROTECTION
EC 5	CONCRETE WASHOUT

Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
 EASTERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES
 FEB. 6, 2025

JOB NUMBER
 240256900

SHEET NUMBER
C1.2

NOT FOR CONSTRUCTION



GENERAL NOTES:
 • CONTRACTOR MUST COORDINATE W/ OWNER FOR ALL DESIRED WALL PACK LOCATIONS PRIOR TO CONSTRUCTION TO ENSURE WALKS ARE ADEQUATELY LIT IN ACCORDANCE WITH OWNER REQUIREMENTS.

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
 EASTERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 6, 2025

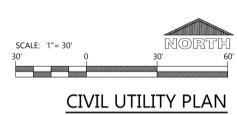
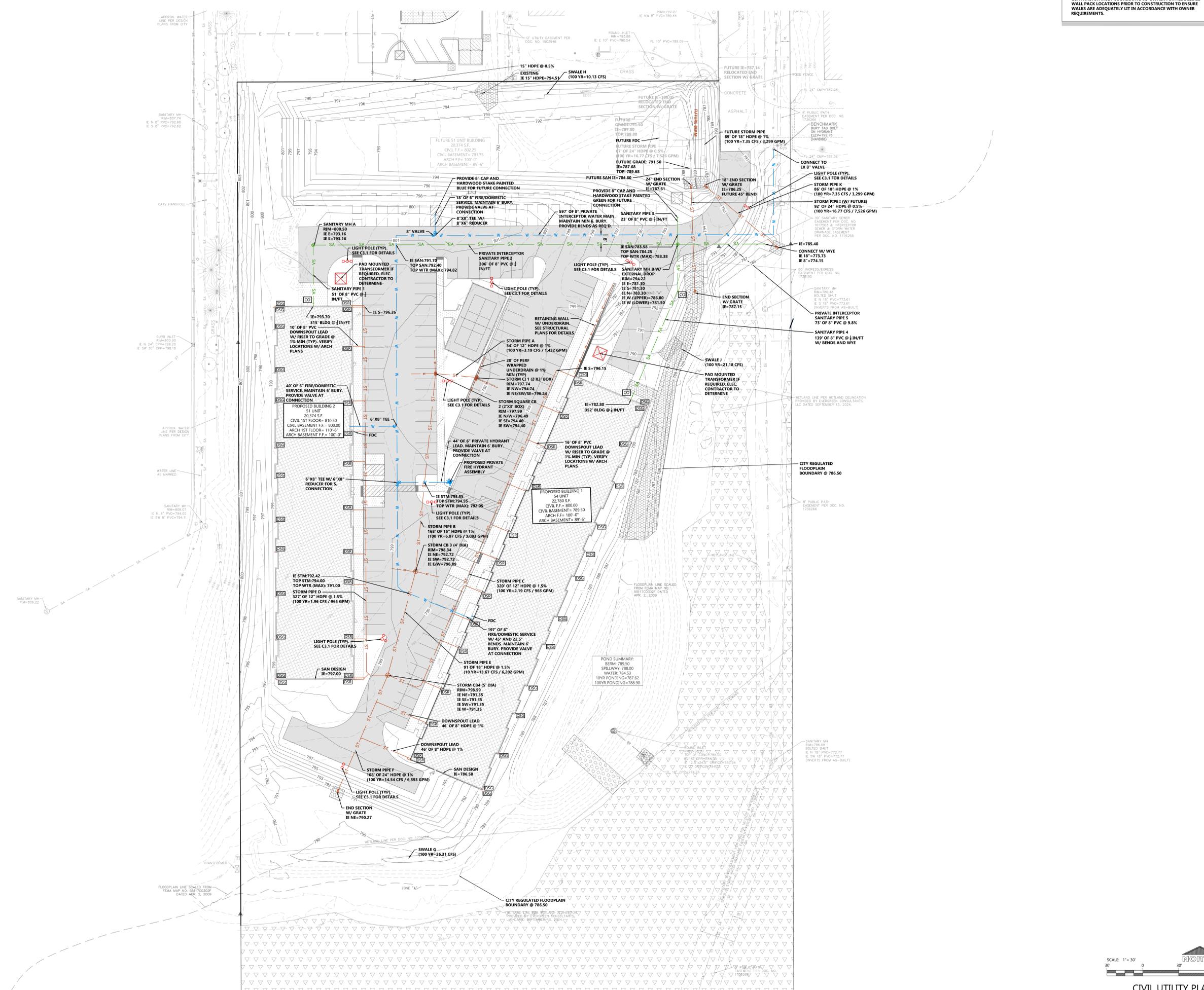
JOB NUMBER

240256900

SHEET NUMBER

C1.3

NOT FOR CONSTRUCTION



PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
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 EASTERN AVE. • PLYMOUTH, WI 53073

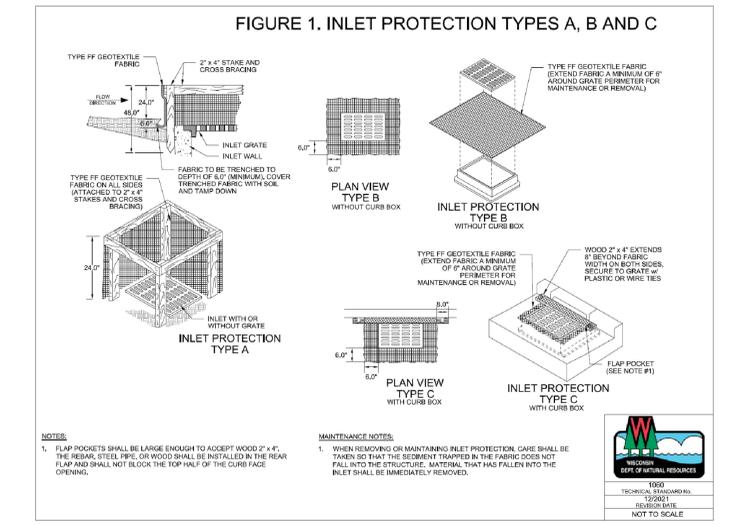
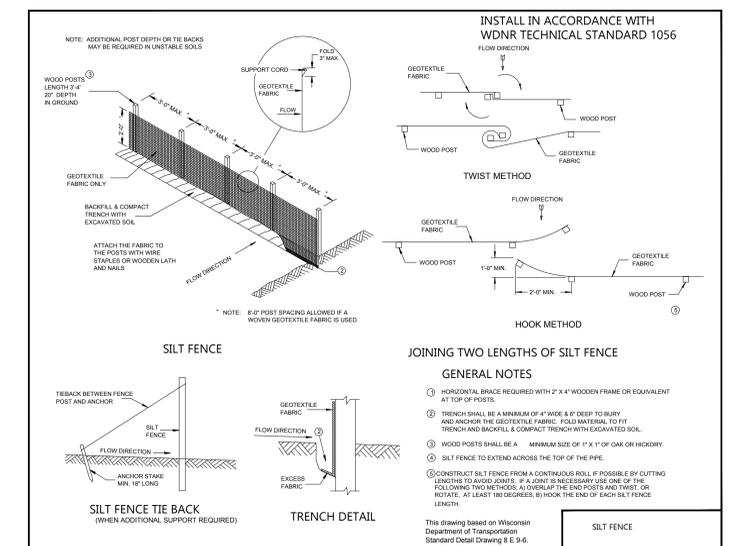
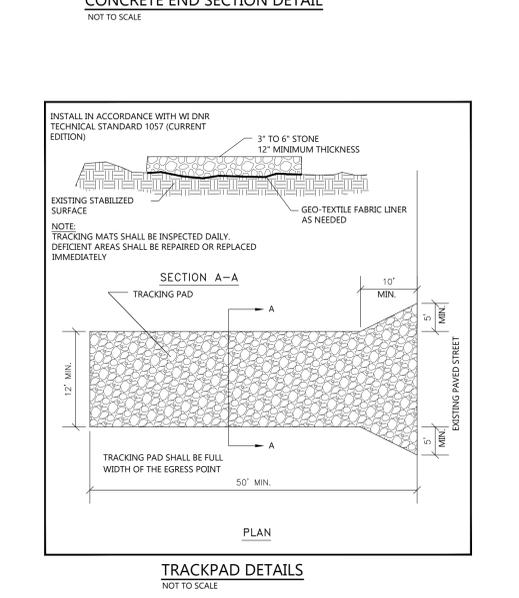
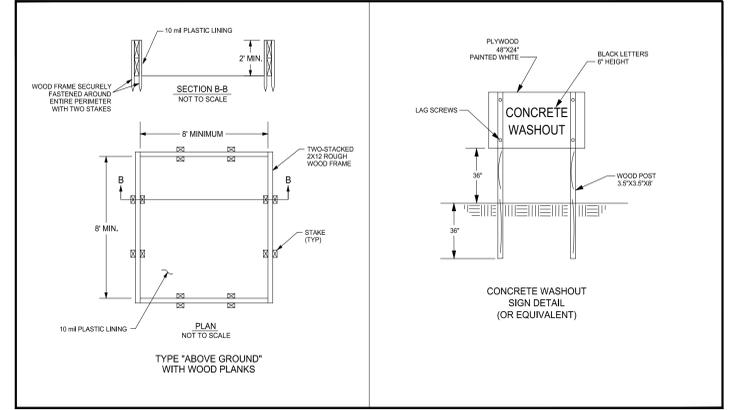
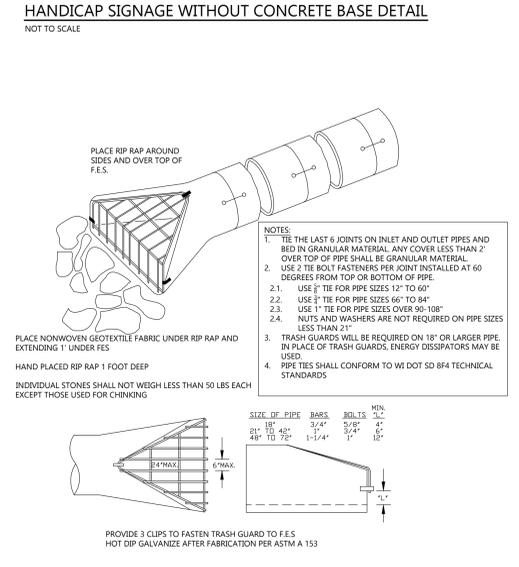
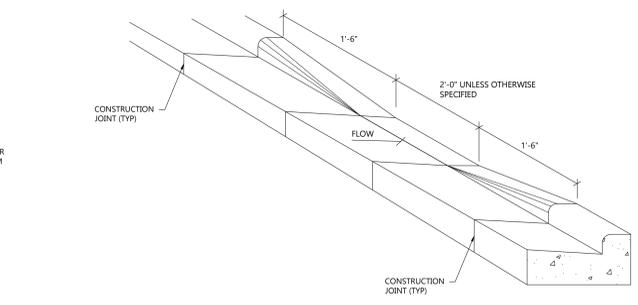
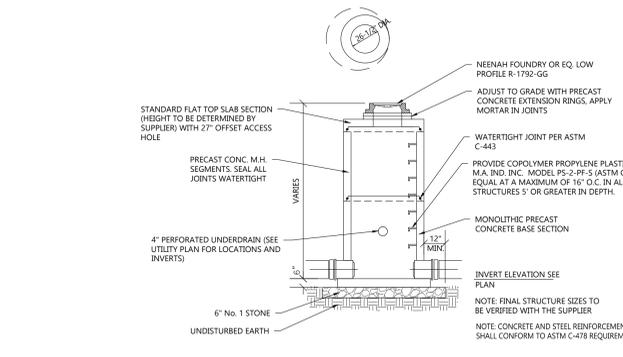
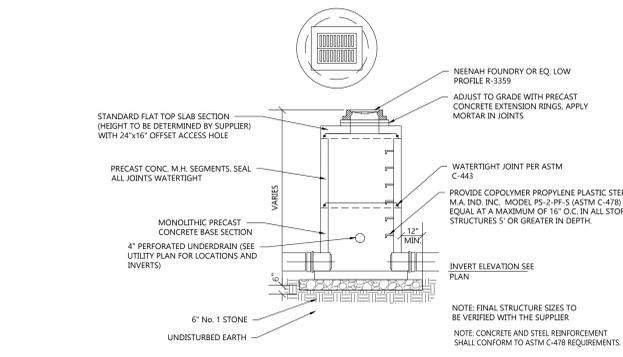
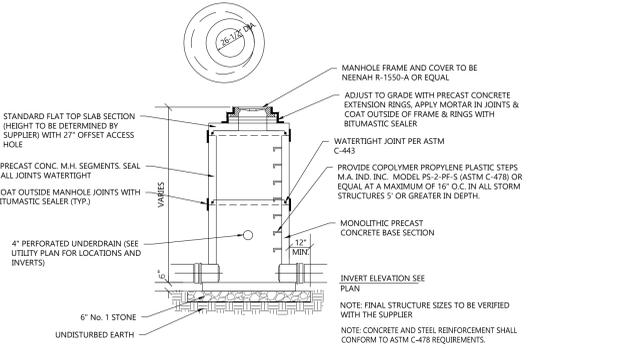
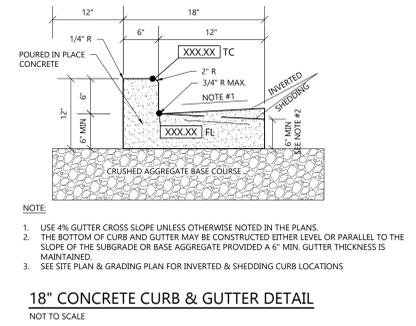
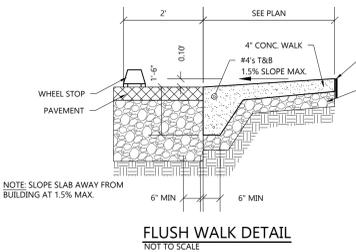
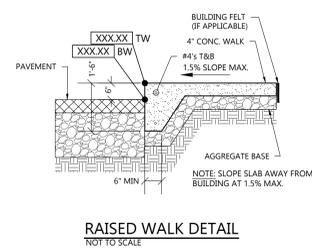
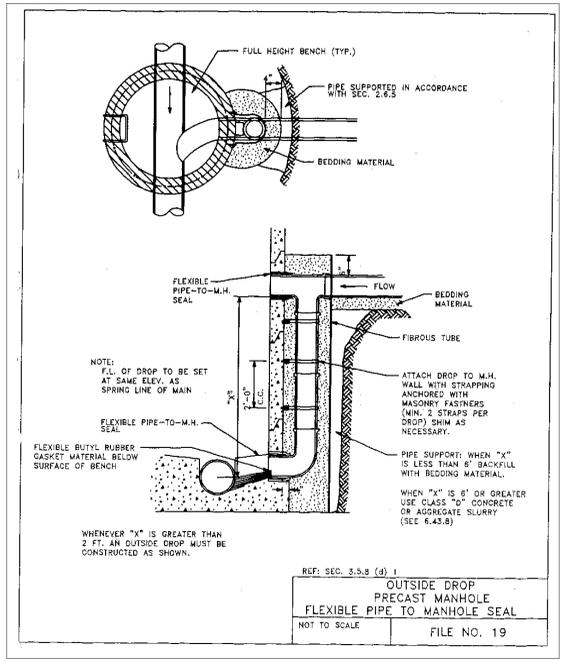
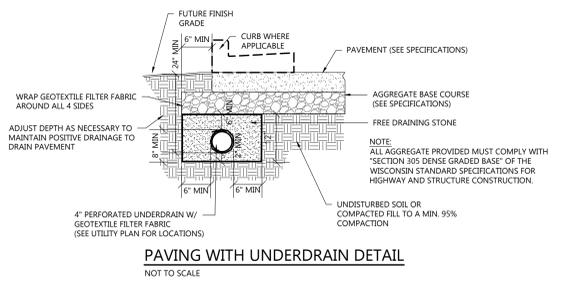
PROFESSIONAL SEAL

PRELIMINARY DATES
 FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
 240256900

SHEET NUMBER
C2.0



PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
EASTERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES
FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
240256900

SHEET NUMBER

C3.1

Mirada Medium (MRM)
Outdoor LED Area Light



Overview:
Lumen Package: 7000 - 48,000
Voltage Range: 48 - 480
Efficiency Range (LPW): 17 - 90
Weight (lbs): 30 (15.4)

QUICK LINKS

Ordering Guide	Performance	Photometrics	Dimensions
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FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's Duragrip polyester powder coat finishing process. The Duragrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Contact factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-art one-piece silicone optic sheet delivers industry leading optical control with integrated gasket to provide IP65 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in ES Types 2, 3, 5W, FT, FTA and AK.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 95%.
- Zero glare.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.27. Also available in Phosphor Converted Amber with Peak Intensity at 600nm.
- Minimum CR of 70.
- Integral cover (L) and house side shield (R) options available for improved backlight control without sacrificing street side performance. See page 9 for more details.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (220-277 Vac) Input 50/60 Hz or optional High Voltage (240-480 Vac).
- LED Calculated Life: >100K Hours (See Lumen Maintenance on Page 3)
- Operating temperature: -40°C to +50°C
- Total Harmonic Distortion: <20%
- ANSI/IEEE C92.41, 42, and 48L lumen packages rated to 44°C.
- Power factor: >90
- Input cover stays constant over life.
- Field replaceable 10K surge protection device meets a minimum Category C Low operator per ANSI/IEEE C92.41.
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga wire.
- LSI's traditional 3" and pattern B3 for easy fastening of LSI products. (See drawing on page 9)
- LSI LED Fixtures carry a 5-year warranty.

Warranty

- LSI LED Fixtures carry a 5-year warranty.
- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- UL 24 Compliant: see local ordinance for qualification information.
- IP65 rated luminaire per IEC 60598.
- UL 24 Compliant: see local ordinance for qualification information.
- DesignLight Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QL to confirm which version are qualified.
- Patented Silicone Optic (US Patent NO. 8,420,782 B2)
- IK08 rated luminaire per IEC 60622 mechanical impact code.

Specifications and dimensions subject to change without notice.

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Mirada Medium Wall Scone (XWM)
Outdoor Wall Scone



Overview:
Lumen Package: 3000 - 31000
Voltage Range: 24 - 175
Efficiency Range (LPW): 15 - 158
Weight (lbs): 27 (12.2)
Control Options: IP65 (A, B, A-B, A-C)

QUICK LINKS

Ordering Guide	Performance	Photometrics	Dimensions
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FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
- Galvanized steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
- Optional color-matching bracket (OPMB) permits mounting to standard poles.
- Fixtures are finished with LSI's Duragrip polyester powder coat finishing process. The Duragrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Contact factory.
- Max shipping weight: 30lbs in carton.

Optical System

- State-of-the-art one-piece silicone optic sheet delivers industry leading optical control while also acting as an integrated gasket reducing complexity and improving fixture reliability.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, 4, and FT distribution.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 95-95%.
- Zero glare.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.27. Also Available in Phosphor Converted Amber with Peak Intensity at 600nm.
- Minimum CR of 70.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (220-277 Vac) Input 50/60 Hz or optional High Voltage (240-480 Vac).
- LED Calculated Life: >100K Hours
- Total Harmonic Distortion (THD): <20%
- UL to UL operating temperature: -40°C to +40°C (ANSI/IEEE C92.41)
- UL operating temperature: -40°C to +40°C (ANSI/IEEE C92.42)
- Power factor (PF): >90
- Input cover stays constant over life.
- Optional 10K surge protection device meets a minimum Category C Low operator per ANSI/IEEE C92.41.
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Components are fully encased in potting material for moisture resistance. Driver and key electronic components can easily be accessed via hinged door.
- Optional integral emergency battery pack provides 90-minutes of constant power to the LED system during power outages. A fast switch/indicator button is installed on the housing for ease of maintenance. The fixture delivers 1500 lumens during emergency mode.

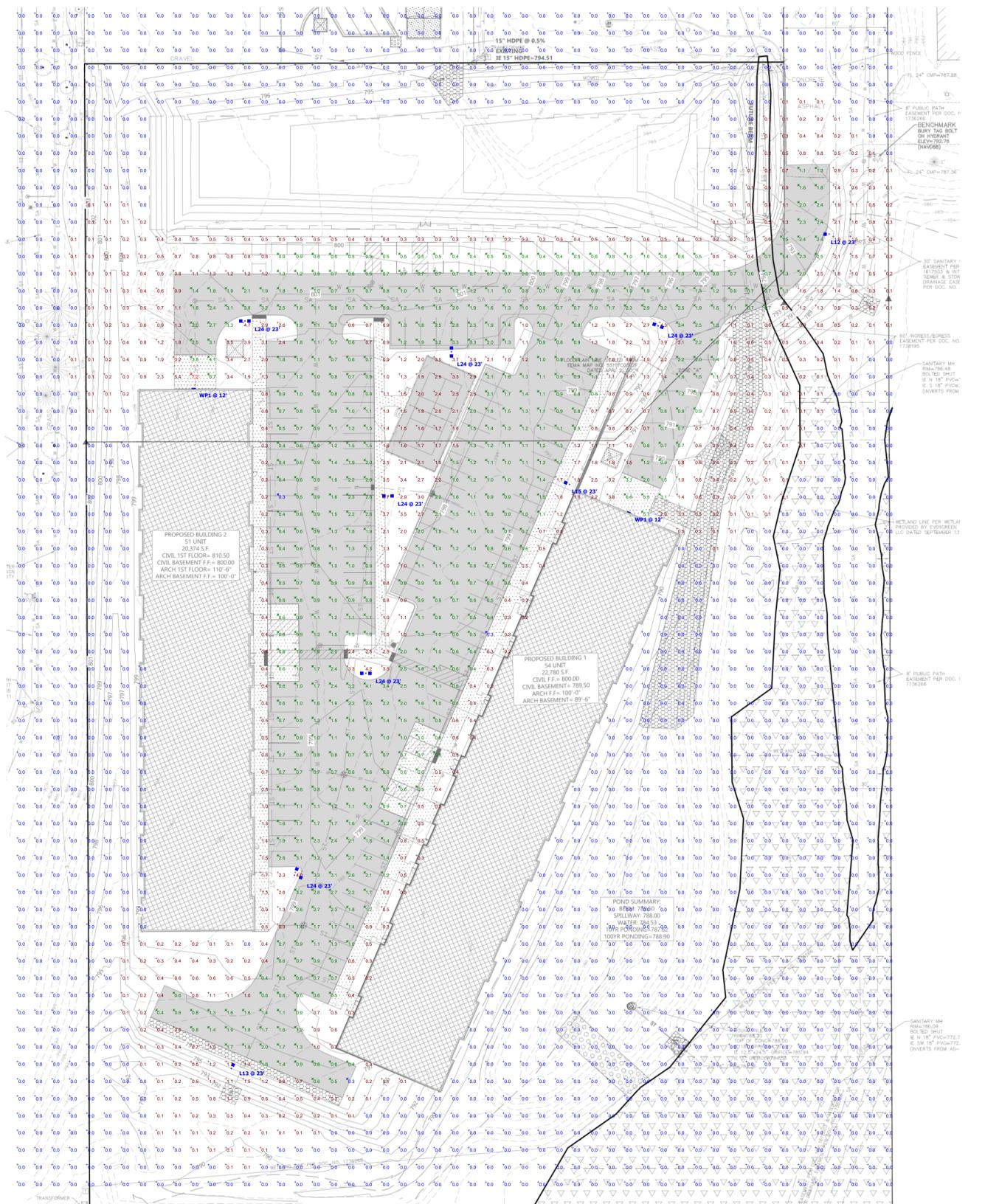
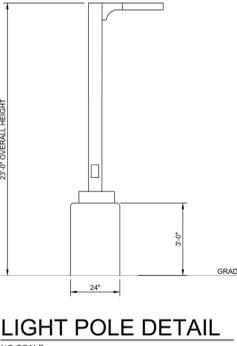
Installation

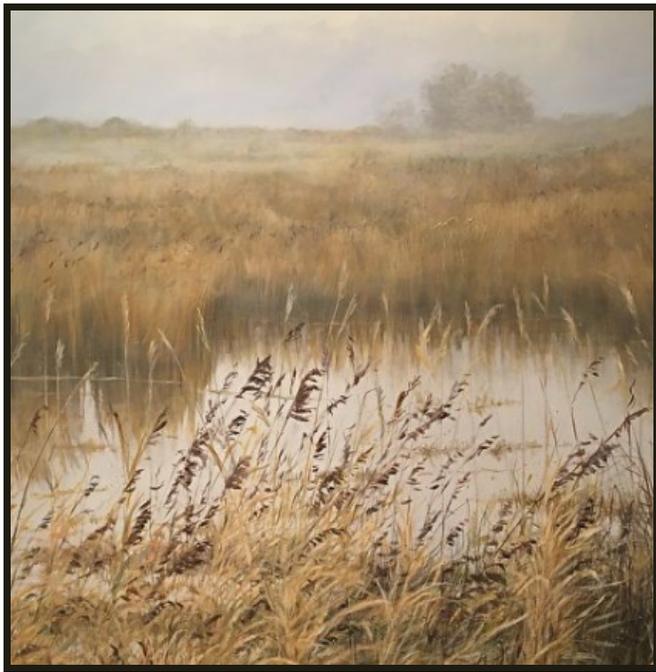
- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsi.com/resources/specifications/warranty> for more information.
- 1 Year warranty on Battery Back-up option.
- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- UL 24 Compliant: see local ordinance for qualification information.
- DesignLight Consortium (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QL to confirm which version are qualified.
- IP65 rated luminaire per IEC 60598.
- UL 24 Compliant: see local ordinance for qualification information.
- DesignLight Consortium (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QL to confirm which version are qualified.
- IK08 rated luminaire per IEC 60622 mechanical impact code.

The ALB4RBLR utilizing an external antenna for long range communications allow for Bluetooth Mesh wireless up to 300' from node to node. Ensures reliable wireless communications for applications where only well-lit future product is being utilized.

Specifications and dimensions subject to change without notice.

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PLYMOUTH - EASTERN AVE Marsh Aesthetic Color Scheme

Lake / Cottage look with the shake siding accents and cream city brick.
Warm Neutrals and Greens
with pops off burnt orange & cedar accents

#BBB1A4

Ext Color #1

Sepia

#825C42

ACCENT COLOR

Gingerbread

CEDAR WOOD ACCENTS

Shingle Color Weathered Wood

#797454

Ext Color #2

Moss

#E1D8CC

TRIM

Pale

Tan / Almond Windows

Siding Texture #2 SHAKE

#575342

Ext Color #3

Deep Olive

MASONRY Cream City Brick

#CC9145

Storefront / Garage Doors

Shadow

Siding Texture #1 LAP

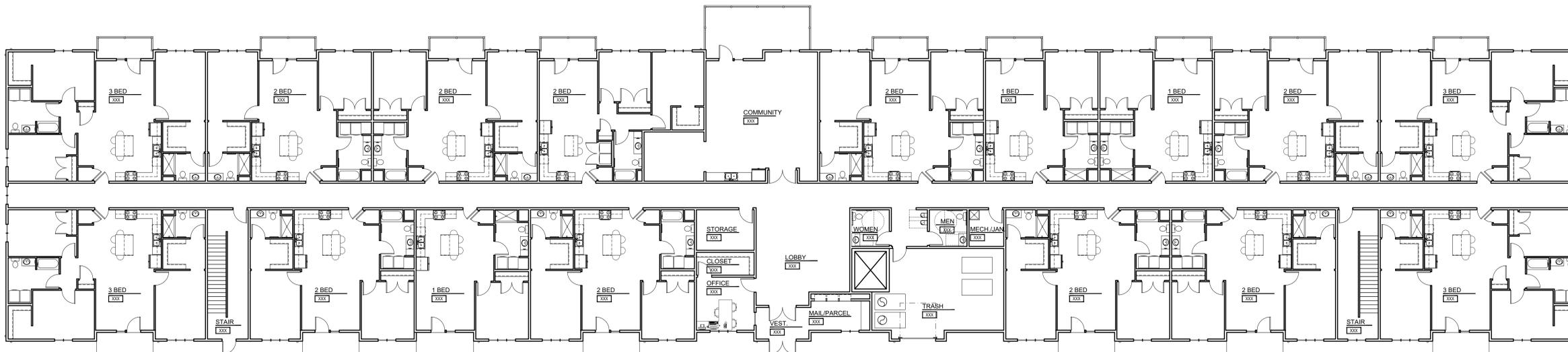
PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
 EASTERN AVE. • PLYMOUTH, WI 53073



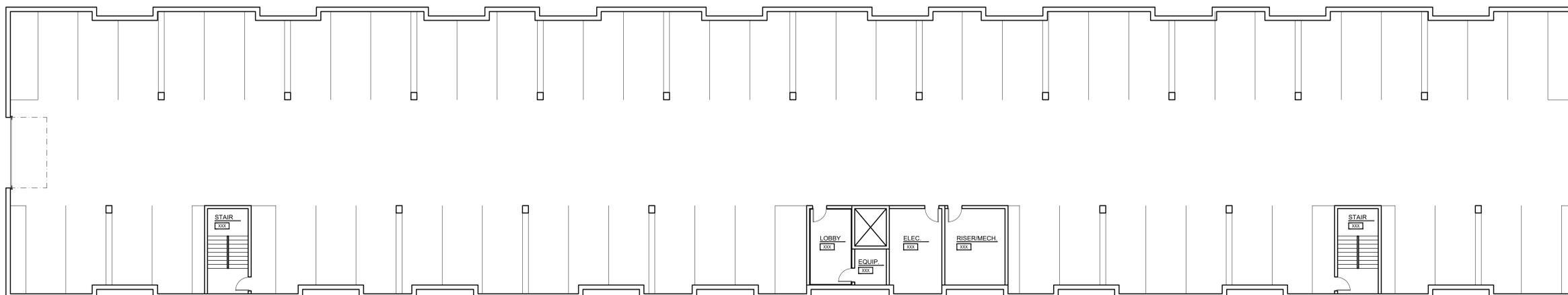
TYP. UPPER FLOOR PLAN

SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



PARKING FLOOR PLAN

SCALE: 3/32" = 1'-0"



PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 17, 2024
JAN. 13, 2025
FEB. 3, 2025
FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
240256900

SHEET NUMBER
A1.1A

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
 EASTERN AVE. • PLYMOUTH, WI 53073



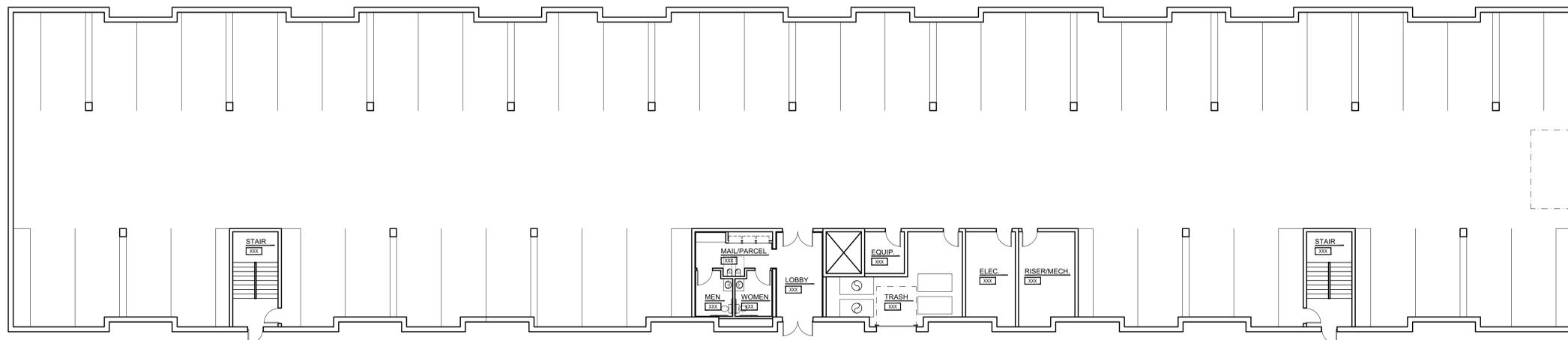
TYP. UPPER FLOOR PLAN

SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



PARKING FLOOR PLAN

SCALE: 3/32" = 1'-0"



PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 17, 2024
JAN. 20, 2025
FEB. 3, 2025
FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
240256900

SHEET NUMBER
A1.1B

PROJECT INFORMATION

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
 EASTERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

JAN. 3, 2025
JAN. 6, 2025
JAN. 13, 2025
JAN. 14, 2025
JAN. 21, 2025
FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
240256900

SHEET NUMBER
A2.0

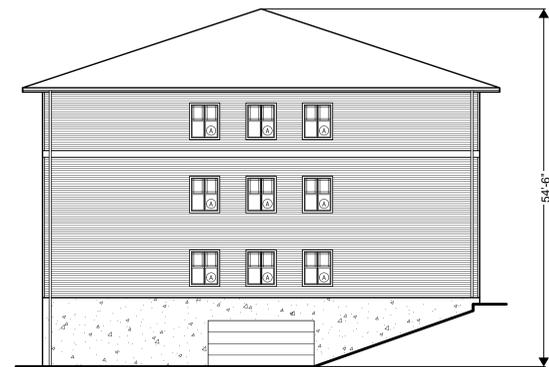


FRONT ELEVATION – EAST BUILDING
 SCALE: 3/32" = 1'-0"

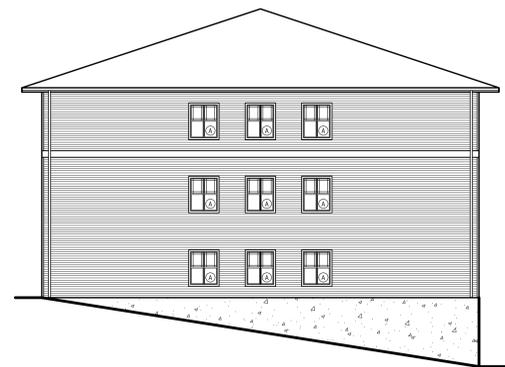
MATERIALS LEGEND:
 SIDING - PREMIUM VINYL
 ROOF - ASPHALT SHINGLES
 WINDOWS - VINYL
 GUTTER/DOWNSPOUT/FASCIA/SOFFT - ALUMINUM
 ALL COLORS TO BE DETERMINED



REAR ELEVATION – EAST BUILDING
 SCALE: 3/32" = 1'-0"



SIDE ELEVATION – EAST BUILDING
 SCALE: 3/32" = 1'-0"



SIDE ELEVATION – EAST BUILDING
 SCALE: 3/32" = 1'-0"

PROJECT INFORMATION



FRONT ELEVATION – WEST BUILDING

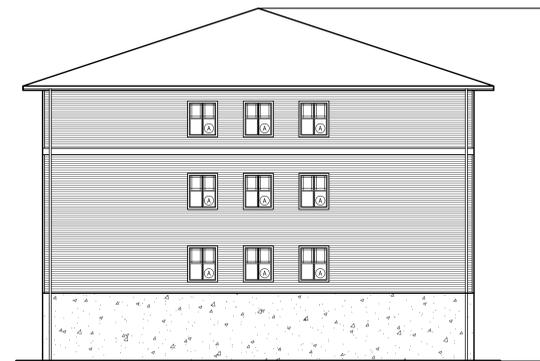
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND:
SIDING - PREMIUM VINYL
ROOF - ASPHALT SHINGLES
WINDOWS - VINYL
GUTTER/DOWNSPOUT/FASCIA/SOFFIT - ALUMINUM
ALL COLORS TO BE DETERMINED



REAR ELEVATION – WEST BUILDING

SCALE: 3/32" = 1'-0"



SIDE ELEVATION – WEST BUILDING

SCALE: 3/32" = 1'-0"



SIDE ELEVATION – WEST BUILDING

SCALE: 3/32" = 1'-0"

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
NORTH TOWN PARTNERS
EASTERN AVE. • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 6, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

240256900

SHEET NUMBER

A2.1

















March 26, 2020

EXE-SE-2020-60-00906

Van Horn Automotive
W5073 County Road O
Plymouth, WI 53073

RE: Artificial Wetland Exemption Determination for an area described as Wetland 1A, located in the NW1/4 of the NE1/4 of Section 26, Township 15 North, Range 21 East, City of Plymouth, Sheboygan County

To Whom It May Concern:

This letter is in response to your request for an artificial wetland exemption determination for the above mentioned wetlands.

According to 281.36 (4n), State Statutes, a landscape feature where hydrophytic vegetation may be present as a result of human modification to the landscape or hydrology and for which no definitive evidence exists showing a prior wetland or stream history before August 1, 1991, may be exempt from state wetland regulations. The following types of artificial wetlands cannot be exempted from state wetland regulation:

- 1) a wetland that serves as a fish spawning area or that is passage to a fish spawning area
- 2) a wetland created as a result of a wetland mitigation requirement.

In addition, DNR must also consider whether the artificial wetland is providing significant flood protection to adjacent or downstream properties and infrastructure, and/or significant water quality functions to adjacent or downstream water bodies.

The Department reviewed the following materials to aid in our exemption determination:

- The request narrative
- Historic Maps, including the Original Land Survey Plat, Bordner Survey, the USGS topographic Quad map, and soil mapping.
- Aerial photographs, including the 1937/8 era photograph, a pre-construction photograph, and a post-construction photograph.
- Site photographs that show different angles and views of the wetland
- Wetland delineation report

Below is a summary of our findings:

Request Narrative

According to the request narrative, a portion of wetland 1 identified as wetland 1A (1,931 square feet) is the focus of this artificial wetland exemption request. Wetland 1A is an excavated

swale/ditch constructed during initial site development in 2010, that receives excess stormwater from the developed site to the north. The remaining larger portion of wetland 1 (wetland 1B) was stated to have natural wetland history in the delineation report and is not included in this request.

Historic Map Review

- Original Land Survey Plat. The original land survey indicates a stream runs through the southern half of the site.
- Bordner Survey. The Bordner survey indicates the area is mostly cropland, with upland hardwoods along the eastern and southern border of the parcel.
- USGS Topographic Quad map: The 1956 USGS Quad map indicates a green natural area exists along the eastern and southern parts of the site. The 1974 USGS map shows this identified feature as wetland, which corresponds well with wetland 1B.
- Soil Maps: The soil maps indicate wetland 1A is mostly mapped in Manawa Silt Loam, 1-3% slopes, which is predominantly non-hydric, with hydric inclusions. The southern area around wetland 1B is mapped as Adrian and Houghton mucks, entirely hydric.

Aerial Photograph Review

- 1937/38 era aerial photograph. The 1937/38 aerial photograph shows the area is mostly cropped with a forested area to the east and south.
- aerial photograph review: The aerial photographs show the area is mostly cropped with a forested area to the east and south. Some areas of the parcel around wetland 1A and the northwest part of the parcel are graded/filled in 1990 due to initial site development for the neighboring parcel to the west. Around 2002, a utility/sewer line is installed along the eastern border of the parcel. Around 2010, initial building road development for nearby business. Wetland 1A appears to be disturbed during these events, wetland 1B appears to be natural wetlands.

Site Photographs

The site photographs show that wetland 1A appears to be an excavated swale/ditch with cattails. The rest of wetland 1B appears to be a large natural wetland complex.

Conclusion:

- Based upon the information provided above, the wetland identified as Wetland 1A (1,931 square feet), lacked a wetland history prior to August 1, 1991, and fulfills all artificial wetland exemption standards. **Therefore, Wetland 1A is exempt from state wetland regulations.** Please see the attached figure for reference.

This letter describes DNR's decision regarding the jurisdictional status of Wetland 1A and is only valid for state jurisdictional purposes. For decisions regarding the federal jurisdictional status of Wetland 1A, you will need to contact the U.S. Army Corps of Engineers.

If you have any questions about this determination, please contact me at (715) 492-0200 or email Ryan.Pappas@wisconsin.gov.

Sincerely,



Ryan Pappas
Wetland Exemption Specialist

cc: U.S. Army Corps of Engineers
City of Plymouth
Shyann Banker, Evergreen Consultants LLC, Consultant

Wetland 1A area (1,931 square feet) was determined to be exempt from state wetland regulations.



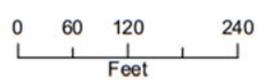
Legend

- Site Boundary
- Sample Point
- Wetland Line
- Wetland
- Picture Location
- Potentially Exempt Wetland

Wetland Delineation was conducted by Chad Fradette, EP, Chem, WDNR Professionally Assured Wetland Delineator with assistance from Benjamin LaCount, PLS, Wetland Scientist, WDNR Professionally Assured Wetland Delineator and Shyann Banker, Environmental Specialist

**Eastern Ave. Property
Wetland Delineation Map with
Potentially Exempt Wetland
City of Plymouth
Sheboygan County, Wisconsin**

Parcel No's: 59271821042, 59271821071 & 59271821072
Project: SHE 19-028-01



evergreen
consultants LLC
2907 Baylite Drive • Green Bay, WI 54313
Phone: 920.615.0019 • Website: www.evergreenwis.com



DATE: February 26, 2025
TO: Plan Commission
FROM: Cathy Austin, Director of Public Works
RE: **North Town Partners – Multi-Family Development**

Overview

The proposed 105 unit, (55+ year old) apartment complex has been reviewed by the Public Works Department for compliance with water/sanitary utility and stormwater management requirements.

Public Works Review

- **Water Main:**
 - The watermain is private.
 - The proposed connection to the municipal system meets requirements.
 - Submit flow data for each building so the Water Utility can ensure proper water meter size.
 - Investigate where the water will flow when the new hydrant is flushed.
 - Is the plan to have one (1) water meter per building or will each unit be individually metered? If individual, please submit actual plumbing plans so we can ensure that proper space in the maintenance room is given.

- **Sanitary Sewer:**
 - The sanitary sewer is private.
 - No concerns; capacity and connection points are adequate.

- **Stormwater Management:**
 - The proposed stormwater management plan complies with city requirements. The pond was constructed in 2023 and designed to handle this development.
 - The developer must submit a stormwater maintenance agreement for the detention basin to ensure long-term compliance with maintenance responsibilities. City has sent a draft of the agreement to Excel Engineering.

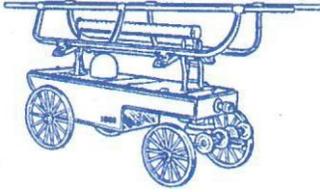
- **Traffic Impact Analysis (TIA):**
 - Still under review by Kapur. Hope to have finalized TIA prior to the Plan Commission meeting. See * note under the Recommendation section below.
 - Review comments thus far from Kapur have indicated the following:
The trips that are generated from a senior living facility like in this proposed development are roughly half that of a similar size multi-family development (condos/townhomes) for the AM and PM Peaks. This is likely due to a majority of the 55 and older community not commuting to work. There will be some delay for vehicles turning from Carr to Eastern, but the delay and queues are within acceptable limits. The traffic volumes from the Wangard and associated

offsite developments from the previous TIA's were incorporated into the AM Peak, PM Peak and Daily traffic calculations.

Recommendation

The Public Works Department has no objections to the approval of this development, provided that the required stormwater maintenance agreement is submitted and executed.

- NOTE: If the TIA review is not finalized at the time of Plan Commission, approval should be contingent on approval of TIA by the City Engineer.



Plymouth Fire and Rescue

Serving Plymouth since 1868

Ryan Pafford
Fire Chief

920-893-3744

rpafford@plymouthfd.com

MEMORANDUM

To: City Administrator Blakeslee, Assistant City Administrator Johnston, Members of the Plan Commission

From: Fire Chief Ryan Pafford

Date: 2/26/2025

Re: North Town Partners Proposal

After reviewing and considering the proposed site plan for the North Town Partners Senior Living Apartment located on Eastern Avenue, an agreement on fire department access, electric vehicle charging locations, and an elevator suitable to accommodate an ambulance cot and 2-3 personnel should be included. With the complex being proposed for 55 and older, it is important that the elevator in the building is large enough to facilitate a 7-foot cot as well as 2-3 emergency responders. It is imperative to have an area for a fire department vehicle to safely maneuver with the proposed site plan. This could be accomplished with a hammerhead area defined on the proposed site plan map. Code reference is the following from *NFPA 1, Chapter 18, Fire Department Access and Water Supply*;

18.2.3.2.2

Fire apparatus access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire apparatus access roads as measured by an approved route around the exterior of the building or facility.

18.2.3.5.1.1

Fire apparatus access roads shall have an unobstructed width of not less than 20 ft (6.1 m).

18.2.3.5.4 Dead Ends.

Dead-end fire apparatus access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.

If you have any other questions, please reach out.

920-893-3744

rpafford@plymouthfd.com

Sincerely,

Ryan Pafford

Chief

Plymouth Fire and Rescue



DATE: February 25, 2025

TO: Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

RE: **Ordinance Amendment Seeking Recommendation:** Modifications of Section 13-1-103 and Section 13-1-106 regarding wall sign height restrictions and ground signs in multi-family residential districts. Johnston (enclosure)

Background:

13-1-103, Sign Height - In November 2024, the City of Plymouth Board of Appeals reviewed a variance request from Sargento to place signage higher than what is allowed by City code on their upcoming LAG building renovation project. While the signage was tastefully designed, state law requires a variance to meet a three-part test to be approved:

- The variance is needed due to an unnecessary hardship caused by zoning.
- A unique property feature is present that created the hardship.
- The variance is not contrary to the public interest.

The request to allow signage higher than permitted by code was denied by the Board of Appeals because it did not meet the three-part test. The bar for achieving a variance is intentionally set high under state law to limit variances to cases of true hardship caused by the zoning code.

Staff discussed this provision of code with the Committee of the Whole at their meeting on January 28, 2025. The Committee's recommendation at that time was to loosen the restriction on sign height placement so long as any ordinance change did not increase the actual size of signage allowed.

13-1-106, Signage in Multi-Family Residential Districts - Staff also discovered that current code language does not explicitly allow ground signage in multi-family residential districts, despite it being already in place for many developments in the City. Examples of this include Songbird Pond Assisted Living, Hunter's Ridge Apartments, and Pleasant View Townhomes, among others. With the Wangard project already being built, and the likelihood of other multi-family residential developments coming to Plymouth, staff would like to right-size the ordinance to allow ground signage for larger multi-family residential developments to follow what has already been historically allowed.

Current Code Language for Sign Height Placement Restrictions

This specific code language regards the B-1, B-2, B-3, CB, LI, and HI zoning districts only. It does not apply to any of the residential zoning districts (wall signs are not allowed in residential districts). The code language is posted below with relevant language in **bold**.

Sec. 13-1-106(a).

Wall signs placed against the exterior walls of buildings shall not project more than 18 inches from a building's wall surface, nor extend above or beyond the wall itself. Total sign area (including multiple business/tenant signs on a single property) shall not exceed one square foot for each lineal foot of the building parallel with the street frontage. Rear or side entrance signs are subject to the same size restrictions as that found at the principal (front/main) entrance to the building. Signs on other building facades (i.e. non-entrance side facades) are limited to one-half square foot per lineal foot of such facade. All signs attached or affixed to a building shall not exceed **20 feet in height above the mean ground grade level, except in the HI, LI, and B-3 districts, where such signs shall not exceed 30 feet in height above the mean ground grade level**; roof signs are prohibited.

Current Building Height Restrictions

The City of Plymouth regulates building height in all six of the aforementioned zoning districts. A table showing those height maximums and sign height maximum is provided below. Please note that in "principal" refers to the main building on the parcel such as the retail space in which customers would buy products, and "accessory" refers to a separate buildings whose use is accessory to the principal buildings use, such as a storage shed or garage space.

Zoning District	Maximum Building Height	Maximum Wall Sign Placement Height
B-1	Principal: 60'; Accessory: 25'	20'
B-2	Principal: 45'; Accessory: 25'	20'
B-3	Principal: 35' (up to 50' with a conditional use permit); Accessory: 25'	20'
CB	Principal: 45'; Accessory: 25'	30'
LI	Principal: 35'; Accessory: 25'	30'
HI	45' any structure; up to 80' with conditional use permit	30'

Community Comparisons/Staff Recommendation For Sign Height:

Staff researched municipal code for many nearby communities of a similar size to Plymouth in regards to sign height placement. Sheboygan Falls and Kohler do not limit sign height placement. Other communities may have this provision in their code, but exceptions to the sign code may be granted by their Common Council or Village/Town Board. Staff investigated incorporating an exception process for the Plymouth sign code, but the City Attorney viewed that process as difficult to regulate

The proposed ordinance language removes the height restriction outlined above. The language clarifies that signage cannot be placed above the start of the roof line to ensure that signs do not project above any wall facade. Current code language does not allow roof signage and this ordinance would not change that. The size of allowable signs is also not impacted by the ordinance update.

Current Code Language Restricting Signage in Multi-Family Residential Districts

Current code language specifically disallows commercial signage in residential districts, with limited exceptions. The code language is posted below with the relevant language in **bold**.

Sec. 13-1-103(k). *Commercial signs in residential districts. In residential zones or on property used for non-transient residential uses, commercial signs are prohibited* except for home occupations or legal nonconforming commercial uses which shall be subject to the provisions of this code.

Staff Recommendation for Signage in Signage in Multi-Family Residential Districts

As ground signage has been historically allowed in multi-family residential districts, staff recommends allowing ground signage in both R-4 and R-6 districts so long as at least 12 dwelling units are present (12 is the maximum allowed in R-4 per building, R-6 allows up to 56 units per building with a conditional use). This language would restrict ground signage to larger multi-family developments while also not inadvertently allowing ground signage on properties with a duplex or smaller multi-family development. The ordinance is also specifically updated to note that any other type of signage (wall signs, projecting signs, awnings, etc.) are not allowed in any residential districts in order to avoid any confusion over the interpretation of the ordinance.

Action Requested:

Motion to recommend the Common Council approve changes as presented in Attachment I. Due to public notice requirements in the newspaper for updates to the Zoning Code, the earliest the Common Council could review the ordinance would be in April.

Attachments:

- I. Draft Ordinance

CITY OF PLYMOUTH, WISCONSIN

Ordinance No. X of 2025

AN ORDINANCE AMENDING SECTION 13-1-103 and 13-1-106, ZONING CODE OF THE MUNICIPAL CODE OF THE CITY OF PLYMOUTH, WISCONSIN

WHEREAS, the City of Plymouth is a body corporate and politic within Sheboygan County, Wisconsin; and

WHEREAS, the City Plan Commission and Common Council would like to amend the City Zoning Code regarding signage to allow more discretion of sign placement related to height as well as allow ground signs in multi-family residential districts; and

WHEREAS, the Plan Commission has reviewed the herein ordinance and recommends adoption; and

WHEREAS, the proposed ordinance was noticed in the Plymouth Review as a class 2 notice and a public hearing for the ordinance was held before the Plymouth Common Council; and

NOW, THEREFORE, the Common Council of the City of Plymouth does hereby ordain as follows:

Section 1. Amending Code. The following sections of the Municipal Code of the City of Plymouth is hereby amended to read as follows (deletions indicated by ~~strikeout~~; insertions by underline):

Section 13-1-104 Prohibited signs

- k. *Commercial signs in residential districts.* In residential zones or on property used for non-transient residential uses, commercial signs are prohibited except as provided in section 13-1-106, as well as for home occupations or legal nonconforming commercial uses which shall be subject to the provisions of this code.

Section 13-1-106 Commercial & multi-family residential signs permitted.

Signs are permitted in the B-1, B-2, B-3, CB, LI, ~~and~~ HI, R-3, R-3A, R-4, and R-6 districts, subject to the regulations of the city Code and the following restrictions:

- a. Wall signs placed against the exterior walls of buildings shall not project more than 18 inches from a building's wall surface, nor extend above or beyond the wall itself. Total sign area (including multiple business/tenant signs on a single property) shall not exceed one square foot for each lineal foot of the building parallel with the street frontage. Rear or side entrance signs are subject to the same size restrictions as that found at the principal (front/main) entrance to the building. Signs on other building facades (i.e. non-entrance side facades) are limited to one-half square foot per lineal foot of such facade. ~~All signs attached or affixed to a building shall not exceed 20 feet in height above the mean ground grade level, except in the HI, LI, and B-3 districts, where such signs shall not exceed 30 feet in height above the mean ground grade level; A wall sign shall not extend above the lowest point of the roof nor beyond~~

the ends of the wall to which it is attached, and not extend more than eighteen inches outside a building's wall surface; roof signs are prohibited. Wall signs are not allowed in residential districts.

- b. Projecting identification signs not exceeding two sign faces per business shall be permitted, but not to exceed two such signs per building. [Such signs are limited to identifying the business name and street address only but may include the trademarked names or logos of products sold by the business provided the size of such logos and trademarks do not exceed one-half the size of the name of the business selling the trademarked products, excepting from such size limitation those businesses where the business name is trademarked (i.e. McDonald's, Hardee's, etc.)] Projecting signs fastened to, suspended from, or supported by a building shall not extend more than five feet, shall not be less than ten feet above the sidewalk nor less than 15 feet above a driveway or alley, and shall not exceed 20 square feet in size. Maximum height shall not exceed 15 feet or front of facade, whichever is less, and shall be located a minimum of ten feet from a side lot line. Projecting signs shall not be internally illuminated. Exterior neon lights shall be permitted, and are not considered as being internally illuminated. Projecting identification signs are not allowed in residential districts.
- c. Pole signs shall not exceed 20 feet in height in the B-1, B-2, and LI districts, and 30 feet in height in the B-3 and HI districts. Height is measured above the mean centerline of street grade. The sign shall be completely within the property upon which it is located. One pole sign per street frontage is permitted. Size is limited to 100 square feet for one side, or 200 square feet for all sides. When there exists a property zoned in the B-3 or HI districts with continuous road/highway frontage in excess of 300 feet, the size is limited to 200 square feet per side or 400 square feet for all sides. Any pole sign in the B-3 business district shall have a minimum landscaped area of 16 square feet around the base of the pole unless a waiver thereof is granted by the plan commission. Pole signs are not allowed in residential districts.
- d. Ground signs shall be limited to 100 square feet for one face or 200 square feet for all faces in the B-1, B-2, CB, LI, R-4, and R-6 districts. Ground signs in residential districts shall be limited to one ground sign on the parcel and should only be allowed for parcels with multi-family residential uses with at least 12 individual dwelling units on the property only. When there exists a property zoned in the B-3 or HI districts with continuous road/highway frontage in excess of 300 feet, the size is limited to 200 square feet per side or 400 square feet for all sides. One ground sign is permitted on a street frontage provided there is no pole sign on that side. Any ground sign in the B-3 business district shall have a minimum landscaped area of 16 square feet around the base of the ground sign unless a waiver is granted by the plan commission.
- e. Combinations of any of the above signs shall meet all the requirements for the individual sign.
- f. Signs in the B-1, B-2, B-3, and CB districts shall only advertise on-site businesses and events. In instances where the property owner or business tenant wishes to erect a sandwich board, there is a limit of one sandwich board per business tenant and such sign shall not exceed four feet in height and eight square feet per side display area.
- g. Exterior neon or gas illumination signs. These signs are not allowed in residential districts.

- h. Awnings with professionally painted or screen-printed lettering and/or symbols are permitted. The size of such printing shall not exceed 25 percent of awning surface and is calculated as part of the total permissible wall signage area for the building's facade. A sign permit is required for such awnings. Awnings with professionally painted or screen-printed lettering and/or symbols are not allowed in residential districts.

Section 2. Severability. Should any portion of this Ordinance or the affected Municipal Code Section be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder shall not be affected.

Section 3. Effective Date. This Ordinance shall take effect the day after publication.

Enacted on _____, 2025.

CITY OF PLYMOUTH

By: _____

Donald O. Pohlman, Mayor

Date: _____

CLERK'S CERTIFICATE OF ENACTMENT

I hereby certify that the foregoing Ordinance was duly enacted by the City of Plymouth Common Council and approved by the Mayor on the dates indicated above.

Dated: _____, 2024

Anna Voigt, Clerk