# **City of Plymouth Plan Commission**

Members: Please notify us if you are unable to attend the meeting.

Chairman; Mayor Don Pohlman

### Members:

Jane Meyer
Jeremy Schellin
Greg Hildebrand
Ron Nicolaus
John Wyatt
Justin Schmitz

The City of Plymouth Plan Commission will have a meeting on **Thursday, April 3, 2025 at** 6:00 PM in **Room 305**, City Hall, and Plymouth, WI.

The agenda will be as follows:

- 1.) Approval of Minutes from March 6, 2025.
- **2.) Site Plan Seeking Approval;** 3062 Kiley Way, Kensington Management, Inc. (dba Taco Bell) for exterior site plan improvements. Excel Engineering (enclosure)
- **3.) Site Plan Seeking Approval;** 127 North Street, South Pier, LLC, for the construction of a 660 square foot detached garage. Watson (enclosure)
- **4.) Site Plan Seeking Approval;** 900 County Road PP (Plymouth Utilities), City of Plymouth, for the construction of a 12,000 square foot detached garage. Plymouth Utilities/Blakeslee (enclosure)
- **5.) Site Plan Seeking Approval;** 128 Smith Street (Plymouth Police Department), City of Plymouth, for the construction of a 748 square foot detached garage. Starker (enclosure)
- **6.) Property Seeking a Comprehensive Plan Map Amendment Recommendation;** from Agricultural to Industrial; Tax Parcel 59271822750 (southeast corner of STH 57 and CTH PP) Sargento Cheese, Inc. (enclosure)
- 7.) Property Seeking Rezoning Recommendation; A petition to rezone ~66.27 acres of land on the existing parcel with tax-key 59271822750 (southeast corner of STH 57 and CTH PP). Property is currently zoned A Agricultural and seeking HI Heavy Industrial zoning district. Sargento Cheese, Inc. (enclosure)
- **8.) Certified Survey Map Recommendation;** Existing parcels with Tax-keys 59271821046 & 9271821047 for a new certified survey map creating 2 parcels of 25.089 acres and 6.875 acres. SCEDC (enclosure)

- **9.) Property Seeking Rezoning Recommendation**; A petition to rezone 6.875 acres of land on the existing parcel with tax-key 9271821047. Property is currently zoned R-5 Traditional Neighborhood and seeking R-4 Multi-Family Residential zoning district. Stroebel. (enclosure)
- **10.) Preliminary Plat Seeking Approval**; Tax-key 59271821046 and a portion of tax-key 59271821047(approximately 25.089 acres in total), regarding consideration for a preliminary plat for a 94-lot residential subdivision in the R-5 Traditional Neighborhood District. Sheboygan County Economic Development Corporation (enclosure)
- 11.) Communication Letters, E-mails, or reports Related to the Plan Commission (Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderpersons)

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City of Plymouth ADA Coordinator Leah Federwisch, located in the Plymouth Utilities office at 900 County Road PP, Plymouth, WI or call 920-893-3853

# **City of Plymouth Plan Commission**

# UNOFFICIAL MINUTES March 6, 2025

Mayor Pohlman called the meeting to order at 6:00 PM on March 6, 2025. The following members were present: Jane Meyer, Jeremy Schellin, Ron Nicolaus, John Wyatt, and Justin Schmitz. Following members excused: Greg Hildebrand Also present: City Administrator/Utilities Manager Tim Blakeslee, Assistant City Administrator/Community Development Director Jack Johnston, Fire Chief Ryan Pafford.

Alderman present but not acting in official capacity: John Binder, Mike Penkwitz, John Nelson

- **1.) Approval of Minutes from February 6, 2025:** Motion was made by Schellin/ Nicolaus to approve the minutes. Upon the call of the roll, all voted aye. Motion carried.
- 2.) Public Hearing: A public hearing to take comment on a conditional use permit application for the following:
  - a. 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding the construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein (enclosure)

    The public hearing was declared open by Mayor Pohlman.

Assistant City Administrator Johnston provided a staff report to the Commission. North Town Partners, formerly Van Horn Development, has submitted a conditional use permit and site plan review application for a new 55+ and over multi-family residential development. The project site is located directly south of Scooter's Coffee, Jimmy John's, and Advance Auto Parts and would have access off of a shared driveway south of the Eastern Avenue and Carr Road intersection.

The property originally existed as two distinct parcels which have since been merged into one parcel. In order to prepare the site for the project, the applicant sought a rezone and comprehensive plan amendment for both parcels in late 2024 and early 2025 to obtain R-6 zoning on both parcels as R-6 is the only residential zoning district that allows the number of residential units they are requesting. Both parcels also needed consistent zoning to be merged. The final rezone and comprehensive plan amendment was approved at the Common Council meeting on January 14, 2025. This allows the applicants to move forward with a site plan and conditional use permit review for this project.

The applicants have indicated that the project will be completed in phases, with the initial development (Phase 1) consisting of two three-story multi-family residential buildings. Building one will contain 54 units and building two will contain 51 units. The third residential building located on the property's north side is not included in Phase 1 of the development plan. In order to construct the second phase of the project, the applicants will have to come back to the Plan Commission for an

additional site plan review, a TID amendment, and a conditional use permit amendment.

Commissioner Wyatt expressed concerns with the current road configuration of Eastern Avenue as motorists facing west on Easten Avenue attempting to turn left into the development could cause queueing concerns. Commissioner Schellin asked if the SCEDC development was considered as part of the traffic impact analysis and if crosswalks would be added so residents could traverse on the north side of Eastern Avenue. John Nelson asked if any consideration to better aligning the intersection with the driveway access would be considered. Administrator Blakeslee explained that road geometry concerns would likely be addressed in the developer's agreement and the SCEDC project was not included in the TIA analysis as it is not an approved project as this point.

Mayor Pohlman and Commissioner Wyatt requested information and confirmation on stormwater. Devin Winter from Excel Engineering was present to address those questions. Administrator Blakeslee also reported the stormwater plan was reviewed by Director of Public Works/City Engineer Austin and met City requirements and approved the plan.

Mayor Pohlman and Commissioner Schellin asked about completion date of phase 1 and the estimated start of phase 2. Chris Merklein from North Town Partners provided an estimation that they would like to be complete with phase 1 by summer of 2026 and hope to break ground on phase 2 in 2027 should phase 1 prove to be successful like their market analysis indicates it will be.

John Nelson asked if the units would be rentals or owner occupied. Mr. Merklein responded that they would be rental units. Ron Nicolaus requested some confirmation on emergency vehicle access. Fire Chief Pafford noted that submitted site plan satisfies emergency vehicle requirements with the installation of the hammerhead on the south side of the site.

Mayor Pohlman then declared the public hearing closed.

3.) Conditional Use Permit Seeking Approval: 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding the construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over in the R-6 High Density Multi-Family Residential District as allowed through Conditional Use Permit per PMC 13-1-28(c)(4). North Town Partners/Merklein (enclosure) This item continues from item #2a. Commissioner Schellin asked if the parking lot was overbuilt or if the parking requirements hindered the applicant's development of the site. Administrator Blakeslee noted that R-6 was a new zoning designation and when crafting it the parking requirements was reduced from 2 parking spaces per residential unit to 1.5 in order to be more accommodating to development. Mr. Merklein responded that the parking requirements did not hinder the development. Staff also noted much of the parking is underground and not visible from outside.

Assistant City Administrator Johnston directed the Plan Commission and applicant to the draft conditions of the conditional use permit provided in the packet materials. Staff asked if the applicant had time to review the draft conditions and had any concerns. The applicants indicated that they had no concerns.

Motion was made by Schellin/Wyatt to approve a conditional use permit for North Town Partners with the conditions as included the packet materials. Upon the call of the roll, all voted aye. Motion carried.

4.) Plan Seeking Approval; 2831 Eastern Avenue, Plankview Green Development, LLC (dba North Town Partners) regarding proposed site plan improvements and construction of two multi-family dwellings of 54 and 51 units each for residents aged 55 and over. North Town Partners/Merklein (enclosure)
This item continues from item #2a and #3. Assistant City Administrator Johnston requested the Plan Commission approve the site plan as presented.

Motion was made by Wyatt/Nicolaus to approve the site plan for North Town Partners as presented. Upon the call of the roll, all voted aye. Motion carried.

- 5.) Ordinance Amendment Seeking Recommendation: Modifications of Section 13-1-103 and Section 13-1-106 regarding wall sign height restrictions and ground signs in multi-family residential districts. Johnston (enclosure)
  In November 2024, the City of Plymouth Board of Appeals reviewed a variance request from Sargento to place signage higher that what is allowed by City code on their upcoming LAG building renovation project. While the signage was tastefully designed, state law requires a variance to meet a three-part test to be approved:
  - The variance is needed due to an unnecessary hardship caused by zoning.
  - A unique property feature is present that created the hardship.
  - The variance is not contrary to the public interest.

The request to allow signage higher than permitted by code was denied by the Board of Appeals because it did not meet the three-part test. The bar for achieving a variance is intentionally set high under state law to limit variances to cases of true hardship caused by the zoning code.

Staff discussed this provision of code with the Committee of the Whole at their meeting on January 28, 2025. The Committee's recommendation at that time was to loosen the restriction on sign height placement so long as any ordinance change did not increase the actual size of signage allowed.

13-1-106, Signage in Multi-Family Residential Districts - Staff also discovered that current code language does not explicitly allow ground signage in multi-family residential districts, despite it being already in place for many developments in the City. Examples of this include Songbird Pond Assisted Living, Hunter's Ridge Apartments, and Pleasant View Townhomes, among others. With the Wangard project already being built, and the likelihood of other multi-family residential developments coming to Plymouth, staff would like to right-size the ordinance to allow ground signage for larger multi-family residential developments to follow what has already been historically allowed.

Assistant City Administrator Johnston explained that staff researched nearby communities to see how they regulate wall sign height. Research indicated that most similar communities do not regulate wall sign height and if they do an exception can be granted by the Common Council. Staff's ultimate recommendation was to eliminate this portion of the code. Johnston noted the draft ordinance included in the packet would restrict wall signs to be placed lower than the roof line and roof signs are already prohibited by code. As the City already regulates building heigh maximums, staff did not feel as though

Page 5 of 129

regulating wall sign placements was necessary. Plan Commission discussed this request and agreed it did not need to be regulated in the ordinance.

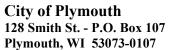
In regards to ground signs in multi-family residential districts, Mayor Pohlman requested the ordinance be crafted in order to restrict ground signage to larger multi-family districts, not duplexes or quadplexes. Johnston reported the draft ordinance as written would only allow ground signage in multi-family properties with at least 12 units. This would restrict ground signage to the largest R-4 development allowed by code and the newly created R-6 district.

Motion was made by Schellin/Nicolaus to recommend approval of ordinance related to modifications of Section 13-1-103 and Section 13-1-106 regarding wall sign height restrictions and ground signs in multi-family residential districts. Upon the call of the roll, all voted aye. Motion carried.

# 6.) Communication – Letters, E-mails, or reports Related to the Plan Commission (Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderpersons)

Administrator Blakeslee reported that framing for the Wangard project was going up with hopes to open the first building for occupancy by August of 2025. Assistant City Administrator Johnston reported there would be a Plan Commission meeting in April with new business items.

Motion was made by Schelling/Schmitz to adjourn the meeting at 6:48 pm. A unanimous aye vote was cast. Motion carried.





Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

**DATE:** March 26, 2025

**TO:** Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

**RE:** Site Plan Seeking Approval; 3062 Kiley Way, Kensington Management, Inc.

(dba Taco Bell) for exterior site plan improvements. Excel Engineering

(enclosure)

ZONING CONSISTENCY MATRIX					
Required Provided					
Zoning	B-3	B-3			
Maximum Lot Coverage of All Buildings	50%	~3%			
Minimum Lot Width at Building Line	100'	>175'			
Minimum Front Yard Setback	50'	75' from nearest front yard property line			
Minimum Side Yard Setback					
Principal Building	20'	~50' to north side			
Accessory Building	10'	yard			
Minimum Rear Yard Setback	40'	n/a			
Maximum Height Any Structures	Principal: 35', up to 50' with CUP Accessory: 25'	20'10" for restaurant			

### Background:

Excel Engineering has submitted a site plan review application for the Taco Bell restaurant location located at 3062 Kiley Way. The overall plan calls for both interior and exterior upgrades to the restaurant. The Plan Commission is tasked with reviewing and approving planned exterior site plan improvements. In short, the project will bring the location up to Taco Bell's corporate brand standards. It includes fresh painting, landscaping upgrades, fresh artwork, drive-thru upgrades, and updated signage. The applicant has been made aware that any proposed exterior sign upgrades will be required to obtain a separate building permit and must adhere to the City of Plymouth Sign Code.

### City Zoning/Comprehensive Plan:

The property is within the B-3 Business Highway zoning district. The above zoning matrix indicates the property is conforming in terms of setbacks and the proposed site plan improvements do not contemplate enlarging the building area or parking lot size. The City's Comprehensive Plan and Future Land Use Map indicate the area to remain commercial. As such, no rezone or comprehensive plan amendment is required.

### **Proposed Signage Upgrades:**

The plans call for demoing existing signage and awnings on the building's north, south, and east side and replacing them with new signage. The new signage includes three (3) bell logo signs on three sides of the building and two (2) Taco Bell letter signs on two signs of the building. The size of the signs are approximately 13.5 square feet for the bell sign and ~9.4 square feet for the Taco Bell letter signs. The signs appears conforming to City Code in terms of size and placement. Current code language restricts signage placed above 30' in the B-3 district, but the building itself is just over 20' in height (this section of the ordinance may be changed at the Common Council meeting in April 8). Each sign will require individually building permits prior to installation.

### **Shoreland Zoning/Wetlands:**

The property is not within shoreland zoning. A small pond is located directly east of the restaurant and appears to serve as stormwater retention. The proposed site plan improvements will not impact that pond.

### **Public Works/Plymouth Fire Department Review:**

Both Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns. No stormwater management plan update is required as part of this site plan review.

### Plan Commission Consideration(s):

Sec. 15-1-3(g) of the City Code indicates that the Plan Commission must review and approve any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts before the issuance of a building permit from the building inspector:

• Site plan approval. All applications for building permits for any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts shall require site plan approval by the plan commission.

When considering acting on a site plan application, the Plan Commission should consider the following:

- a. The appropriateness of the site plan and buildings in relation to the physical character of the site and the usage of adjoining land areas.
- b. The layout of the site with regard to entrances and exits to public streets; the arrangement and improvement of interior roadways; the location, adequacy and improvement of areas for parking and for loading and unloading; and shall, in this connection, satisfy itself that the traffic pattern generated by the proposed construction or use shall be developed in a manner consistent with the safety of residents and the community, and the applicant shall so design the construction or use as to minimize any traffic hazard created thereby.
- c. The adequacy of the proposed water supply, drainage facilities and sanitation and waste disposal.
- d. The landscape and appearance of the completed site. The plan commission may require that those portions of all front, rear and side yards not used for off-street parking shall be attractively planted with trees, shrubs, plants or grass lawns, and that the site be effectively screened so as not to impair the value of adjacent properties nor impair the intent of purposes of this section.

### **Staff Recommendation:**

Staff recommends the Plan Commission consider approving the site plan improvements for the Taco Bell restaurant building.

Copies Mailed/Emailed To:

I. Tricia Muellenbach: <a href="mailedtricia.muellenbach@ExcelEngineer.com">tricia.muellenbach@ExcelEngineer.com</a>

### **Attachments:**

- GIS Map
- II. Site Photo
- Application and Building Plan Materials III.

# Attachment I



# Site Photo as 3/19/25



# **PROJECT NARRATIVE**

Taco Bell Midterm Remodel 3062 Kiley Way, Plymouth, WI



Excel Engineering Inc. is providing design services for Black River Bells for the remodel of an existing Taco Bell restaurant in Plymouth, Wisconsin. The remodel serves as a required refresh as mandated by Taco Bell Corporate and includes the following scope.

### SITE WORK

Signage will be updated to reflect the current Brand Standards as required by Taco Bell Corporate and in adherence to the City of Plymouth commercial sign ordinance. Improvements include repainting all sign bases and light poles. Order point canopy and menu boards will be updated and landscape refreshed where impacted by construction. Dumpster enclosure will be painted to coordinate with building exterior new paint.

### **BUILDING EXTERIOR**

The exterior improvements include paint, refreshed art work where current artwork exists, replace existing signage with updated Brand signage, update all lights to LED and replace wall lights with new wall sconces.

### **BUILDING INTERIOR**

The interior finishes will be refreshed including walls, flooring, and ceiling. Furniture will be updated. New LED lights throughout the interior of the building and bathrooms will be refreshed with new paint and lighting only. All equipment to remain, with the exception of new Pepsi fountain machines, new ice machines, and new tea urns. An outdated decorative metal frame/pergola will be removed from the dining area.

# **2025** Remodel Scope

Store #: 28453

Address: 3062 Kiley Way Plymouth, WI

Remodel Type: MidTerm
Est. Remodel Date: 5/19/2025

Estimated 2024 Sales:

New sign faces wit	h new LED's for pylon sign
Scrape & repaint p	ylon pole & sign cabinets black
Deimage all previo	us logos & remove all directional signs including foundations
	der point canopy & foundations
Add new order po	int canopy & foundation. Foundation & electrical by GC, order point canopy install by sign vendor.
Add new speaker p	post foundation
Remove existing co	oncrete around digital menu board. Existing menu board to remain as is.
SITE WORK Add bollard next to	o digital menu board
Patch landscaping	around menu board as needed
Remove existing c	learance bar & foundation
Add new clearance	e bar, foundation & bollard. Foundation & bollard by GC, clearance bar install by sign vendor.
<del>Upgrade all parkin</del>	g lot light pole heads to LED heads. Already LED here, electrician just to confirm all are working properly.
Paint existing park	ing lot light poles black
Crack fill, seal coat	& stripe entire parking lot to match existing
Paint existing dum	pster enclosure/fix doors if needed
New exterior pain	t end of the control
All new building si	gnage package per brand standards
New exterior artw	ork package in existing cut outs.
Remove arched av	vnings above cutouts & patch EFIS
BUILDING EXTERIOR Add (2) new mobil	e pickup signs on building
Building awnings t	o remain as is
Scrape/repaint aw	nings black
All canopy lights to	be replaced with new LED bulbs. Bulbs supplied & installed by electrical contractor.
Electrician to confi	rm all exterior building fixture bulbs are LED. If not, electrician to replace with LED bulbs.
Replace exterior li	ghts with new wall scones. New lights above exterior artwork cutouts & new wall pack above BOH security door.
Add appropiate nu	ımber of kiosks - (1) on front counter & (2) on half wall. Peak hour transactions are 48.
New artwork pack	

l	Remove existing chairs, booths, tabletops, condiment table and trash enclosures
	Core drill table bases to remain
	Remove existing wainscot, chair rail, wallpaper and all other wall finishes
	All new lobby décor package
	Existing flooring in front of house to remain
	Replace damaged/cracked tiles as needed
	New front counter with mobile pickup shelving
	New tile for back wall by POS area and by Pepsi machine
	New stainless steel drink table in lobby. Pepsi machine to sit in middle of the table.
	New laminate bathroom doors with kickplates, paint existing frames & reuse existing hardware
BUILDING INTERIOR	Bathrooms to remain as is. New paint and LED ceiling lighting only.
	All new LED lights throughout the building - FOH & BOH
	New ceiling tiles for dining room only. Existing grid to remain as is. Repair grid as needed.
	BOH ceiling and grid to remain as is
	Remove existing metal frame and pergola structure in lobby
	Remove FRP screen panel in lobby & replace floor tile
	Repaint lobby
	All new lobby signage as required
	Patch/repair acrylic flooring in BOH as needed.
	Add stainless backsplash for Power Soak Sink. From sink to first rail. Already complete, not needed.
	(2) new Pepsi fountains (lobby & drive thru) - 10+ years old.
	(2) new ice machines w/ condensers & line sets (lobby & drive thru) - 10+ years old
	(2) new tea urns (lobby & drive thru) - 10+ years old
	New FBD cart for under freeze machine
OPT IN	FBD machine to stay up by front counter like we did in store #3291 Southfield, MI this year
OFTIN	Remove existing interior menu boards, build soffit out flat and install (4) new interior digital menu boards
	Add new outlet & CAT 6 on soffit above POS area for new digital menu boards

# MIDTERM REMODEL FOR: TACO BELL - SUNDANCE

# PLYMOUTH, WI

# PROJECT CONTACTS

OWNER INFORMATION **BLACK RIVER BELLS** 7915 KENSINGTON COURT BRIGHTON, MI 48116

**PROJECT MANAGER:** TRICIA MUELLENBACH Phone: (920) 216-9081 E-mail: tricia.muellenbach@excelengineer.com

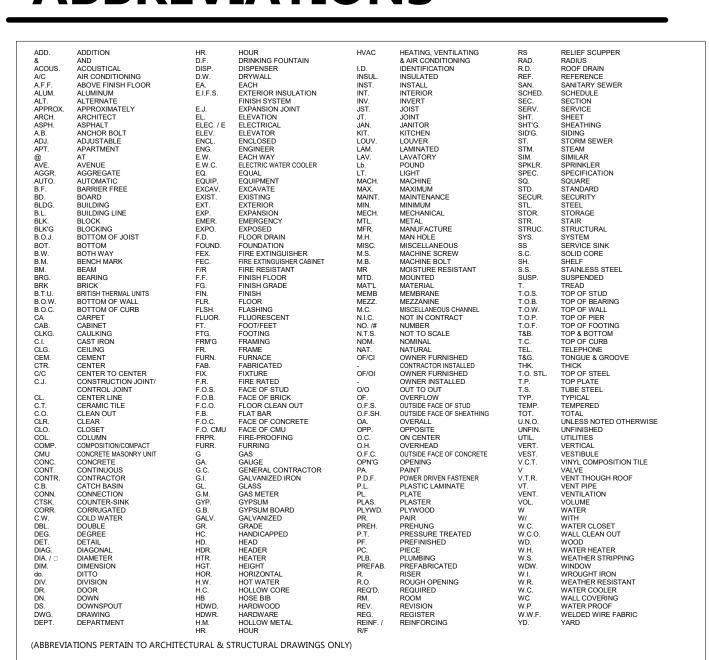
Phone: (248) 378-3167 E-mail: Matt.DaPra@teamlyders.com

**PLUMBING: NICK STREETER** Phone: (920) 322-1627 E-mail: nick.streeter@excelengineer.com

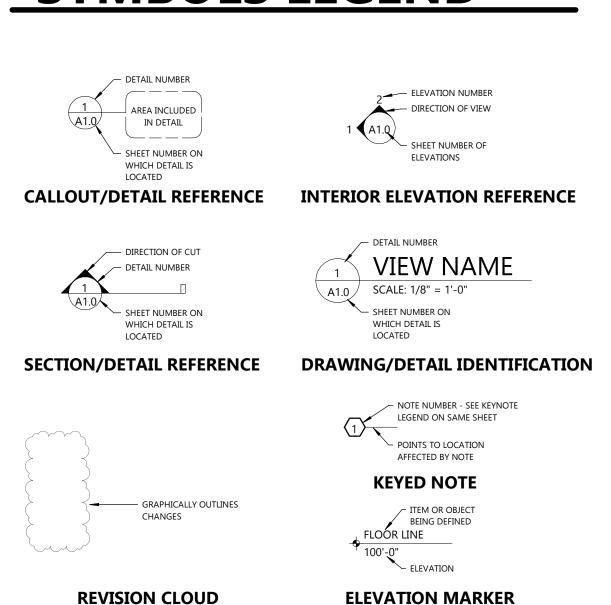
TIM STOPPLEWORTH

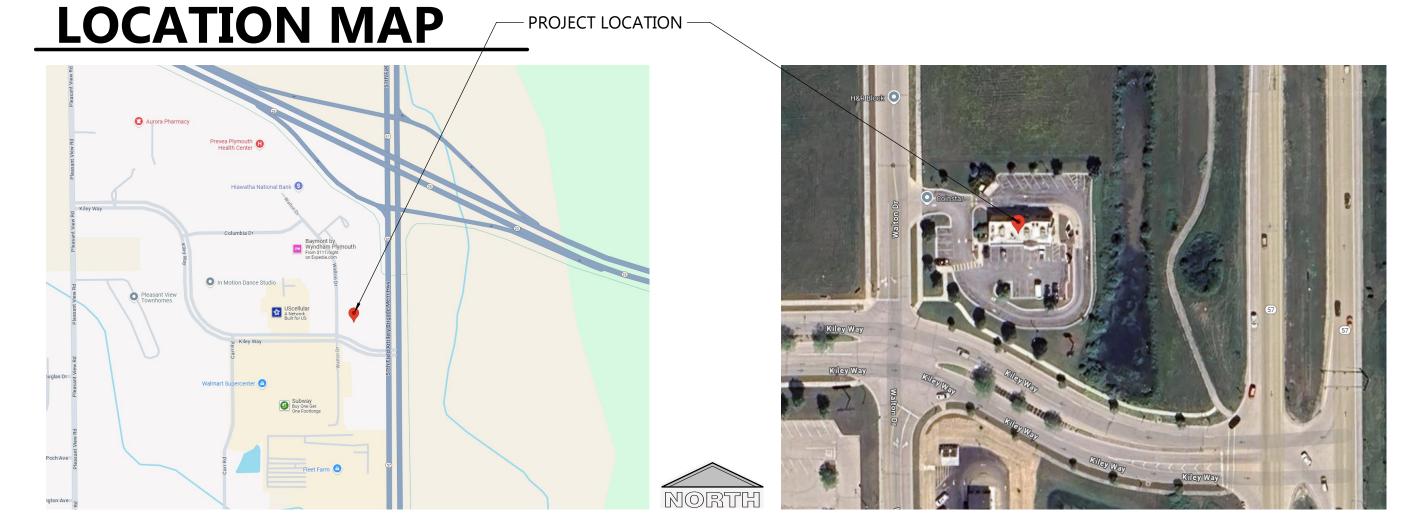
E-mail: tim.stoppleworth@excelengineer.com

# **ABBREVIATIONS**



# **SYMBOLS LEGEND**





# STORE #28453

# **SHEET INDEX**

SHEETS BELOW INTENDED TO BE PRINTED IN: COLOR. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY

			LATEST SHEET ISSUE		
NUMBER	SHEET NAME / DESCRIPTION	SHEET STATUS	NUMBER	DATE	
CENTEDAL					
GENERAL T1.0	TITLE SHEET	IFC	IFC	MAR. 6, 2025	
T1.1	PROJECT INFORMATION	IFC	IFC	MAR. 6, 2025	
T1.2	INTERIOR SIGNAGE SCHEDULE AND NOTES	IFC	IFC	MAR. 6, 2025	
ARCHITECTURAL					
A0.1	SPECIFICATIONS	IFC	IFC	MAR. 6, 2025	
A0.2	SPECIFICATIONS	IFC	IFC	MAR. 6, 2025	
A0.3	SPECIFICATIONS	IFC	IFC	MAR. 6, 2025	
AS1.0	SITE PLAN	IFC	IFC	MAR. 6, 2025	
AS2.0	SITE PLAN DETAILS	IFC	IFC	MAR. 6, 2025	
AS2.1	SITE PLAN DETAILS	IFC	IFC	MAR. 6, 2025	
AD1.1	FIRST FLOOR DEMOLITION PLAN	IFC	IFC	MAR. 6, 2025	
AD1.2	FIRST FLOOR DEMOLITION CEILING PLAN	IFC	IFC	MAR. 6, 2025	
AD2.0	EXTERIOR DEMOLITION ELEVATIONS	IFC	IFC	MAR. 6, 2025	
AD2.1	EXTERIOR DEMOLITION ELEVATIONS	IFC	IFC	MAR. 6, 2025	
A1.1	FIRST FLOOR PLAN	IFC	IFC	MAR. 6, 2025	
A2.0	EXTERIOR ELEVATIONS	IFC	IFC	MAR. 6, 2025	
A2.1	EXTERIOR ELEVATIONS	IFC	IFC	MAR. 6, 2025	
A5.0	INTERIOR ELEVATIONS	IFC	IFC	MAR. 6, 2025	
A5.1	ENLARGED PLANS AND ELEVATIONS	IFC	IFC	MAR. 6, 2025	
A6.0	SCHEDULES	IFC	IFC	MAR. 6, 2025	
A7.1	FIRST FLOOR REFLECTED CEILING PLAN	IFC	IFC	MAR. 6, 2025	
A8.1	FIRST FLOOR FINISH PLAN	IFC	IFC	MAR. 6, 2025	
A9.1	FIRST FLOOR EQUIPMENT PLAN	IFC	IFC	MAR. 6, 2025	
A9.2	FIRST FLOOR EQUIPMENT SCHEDULE	IFC	IFC	MAR. 6, 2025	
PLUMBING	LECENID AND EDECIFICATIONS	IFC	IFC	MAD C 2025	
P0.1	LEGEND AND SPECIFICATIONS	IFC	IFC	MAR. 6, 2025	
P1.1	FLOOR PLANS	IFC	IFC	MAR. 6, 2025	
P4.0	SCHEDULES	IFC	IFC	MAR. 6, 2025	
ELECTRICAL					
E0.1	LEGEND AND SPECIFICATIONS	IFC	IFC	MAR. 6, 2025	
E0.2	SPECIFICATIONS	IFC	IFC	MAR. 6, 2025	
E1.1L	FIRST FLOOR PLAN - LIGHTING	IFC	IFC	MAR. 6, 2025	
E1.1P	FIRST FLOOR PLAN - POWER	IFC	IFC	MAR. 6, 2025	

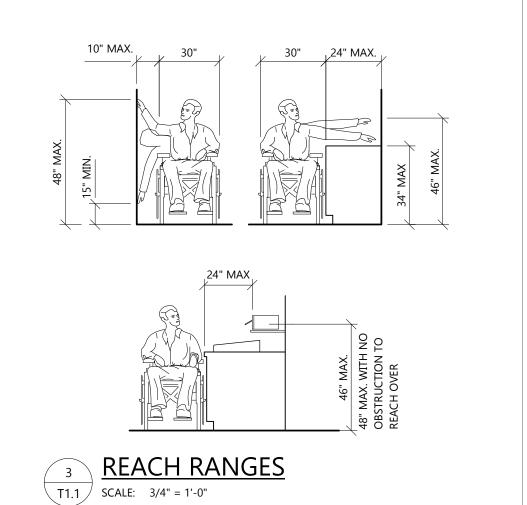
Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800

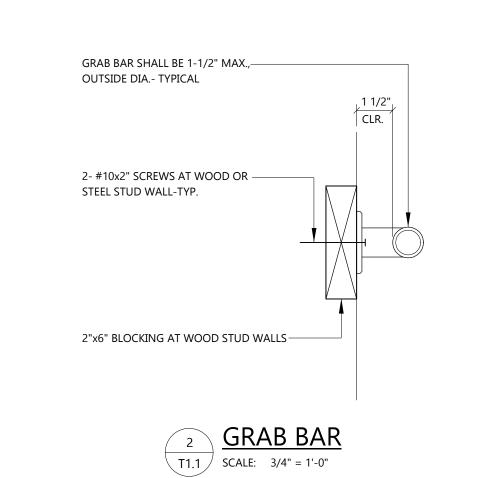
PROJECT INFORMATION

**SHEET DATES ISSUED FOR CONSTRUCTION** MAR. 6, 2025

**JOB NUMBER** 240300000

# CLEAR FLOOR AREA APPROACH, PUSH SIDE DOOR CLEARANCES T1.1 SCALE: 1/2" = 1"-0"





# PROJECT INFORMATION

# APPLICABLE BUILDING CODES

2015 INTERNATIONAL BUILDING CODE

2015 INTERNATIONAL EXISTING BUILDING CODE

2015 INTERNATIONAL ENERGY CONSERVATION CODE

2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL FUEL GAS CODE

2015 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRICAL CODE 2023 WISCONSIN PLUMBING CODE

# 2009 ICC/ANSI A117.1 ACCESSIBIBILITY CODE

OCCUPANCY CLASSIFICATIONS

OCCUPANCY CLASSIFICATIONS WITHIN BUILDING INCLUDE: ASSEMBLY GROUP A-2

2015 IBC SECTION 303.3 - RESTAURANTS, CAFETERIAS AND SIMILAR DINING

FACILITIES (INCLUDING ASSOCIATED COMMERCIAL

KITCHENS)

# **ALLOWABLE HEIGHT & AREAS**

2015 IBC TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE = 40'

EXISTING BUILDING HEIGHT = 21'-10"

2015 IBC TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE = 1 STORY

**EXISTING NUMBER OF STORIES = 1 STORY** 

2015 IBC TABLE 506.2 ALLOWABLE AREA FACTOR IN SQUARE FEET = 6,000 SF

EXISTING BUILDING AREA = 1,827 SF

# **CONSTRUCTION CLASSIFICATION**

2015 IBC SECTION 602.5 TYPE V(B) CONSTRUCTION

ENTIRE BUILDING IS <u>NOT</u> FULLY EQUIPPED w/ AN AUTOMATIC SPRINKLER SYSTEM PER N.F.P.A. 13

# OCCUPANT LOADS

OCCUPANT LOADS BASED ON 2015 INERNATIONAL BUILDING CODE TABLE 1004.1.2

ROOM OR SPACE DESIGNATION	CLASSIFICATION OF OCCUPANCY FOR USE	FLOOR AREA (S.F.)	DENSITY SF/PERSON	OCCUPANT LOAD BY CALCULATION	OCCUPANT LOAD BY ACTUAL NO.
COOLER/STORAGE	ACCESSORY STORAGE AREA	185	300 GROSS	.62	-
OFFICE	BUSINESS AREAS	73	100 GROSS	.73	-
KITCHEN RESTAURANT	KITCHEN, COMMERCIAL	689	200 GROSS	3.45	-
RESTAURANT DINING ROOM	ASSEMBLY UNCONCENTRATED	631	15 NET	-	35

TOTAL OCCUPANT LOAD OF THE BUILDING = 40 OCCUPANTS

# **MEANS OF EGRESS**

2015 IBC TABLE 1017.2 200 FT. EXIT ACCESS TRAVEL DISTANCE (UN-SPRINKLERED)

2015 IBC SECTION 1005.3.2 EGRESS WIDTH PER OCCUPANT SERVED = 0.2"
40 TOTAL OCCUPANTS x 0.2" = 8.0 EGRESS WIDTH REQUIRED

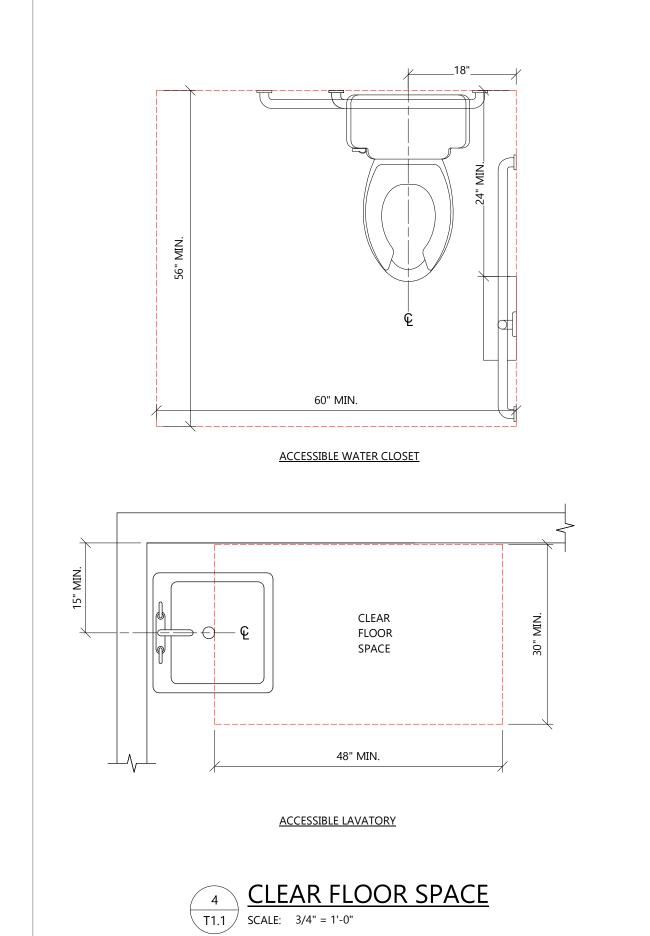
PROVIDED EGRESS WIDTH = 150"

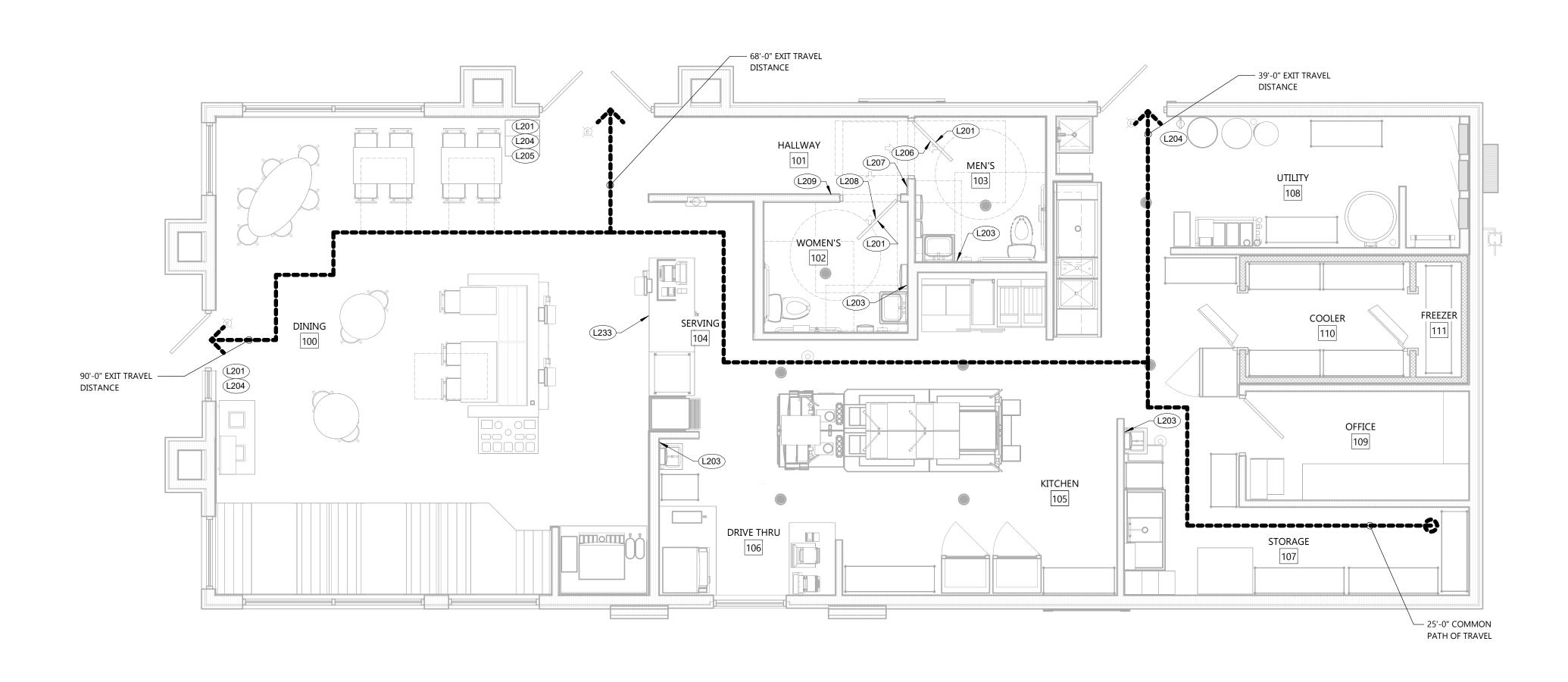
# **SANITARY FIXTURES**

PLUMBING FIXTURE FACTORS BASED ON 2015 INTERNATIONAL BUILDING CODE TABLE 2902.1

OCCUPANCY		WATER CLOSETS			LAVATORIES			DRINK FOUN	TAINS	OTHER
ГҮРЕ	CAPACITY	FACTORS	# M. FIX.	# F. FIX.	FACTORS	# M. FIX.	# F. FIX.	FACTORS	# FIX.	FACTORS
A-2 GROUP (RESTAURANT)	40 PERSONS	1 PER 75	.27	.27	1 PER 200	.1	.1	1/500	1	1 SERVICE SINK
PROVIDED FIXTURES			1 (WC)	1 (WC)		1 LAV	1 LAV		0 a	1 IN BOH

a. DRINKING WATER PROVIDED BY SODA MACHINE DISPENSING WATER.





SCALE: 1/4" = 1'-0"

LIFE SAFETY AND SIGNAGE PLAN

EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800

PROJECT INFORMATION

excelengineer.com

3: **ANCE** WI 53073

TACO BELL - SUNDA 3062 KILEY WAY • PLYMOUTH, WI

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR CONSTRUCTION

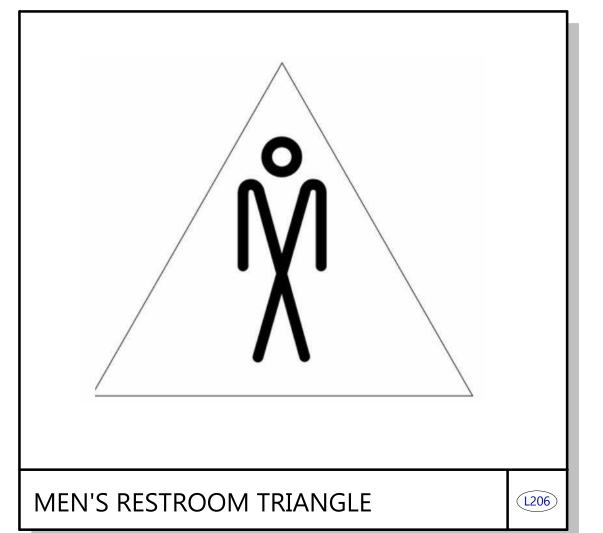
IFC MAR. 6, 2025

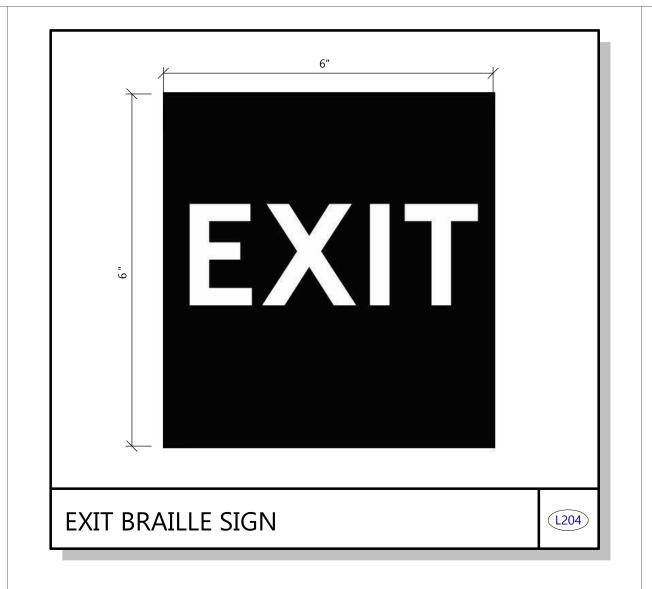
JOB NUMBER 24030000

SHEET NUMBER

T1.1



















NOTE:
RAISED CHARACTERS SHALL BE 48" MINIMUM ABOVE
THE FLOOR, MEASURED TO THE BASELINE OF THE
LOWEST RAISED CHARACTER AND 60" MAXIMUM
ABOVE THE FLOOR, MEASURED TO THE BASELINE OF
THE HIGHEST RAISED CHARACTER.

SIGNAGE SCHEDULE							
TAG	VERBIAGE		SIZE MOUNTING HEIGHT QUANTITY L		LOCATION		
L201	NO SMOKING OR ELECTRONIC CIGARETTE USE. THIS IS A SMOKE FREE ESTABLISHMENT	1/16 x 6 x 6	60" A.F.F.	4	1 INSIDE RESTROOM (BACK OF DOOR), 1 AT CUSTOMER ENTRANCE DOOR		
L203	EMPLOYEES MUST WASH HANDS BEFORE RETURNING TO WORK	1/16 x 6 x 6	60" A.F.F.	4	1 INSIDE RESTROOM NEAR SINK, 1 AT EACH BOH SINK		
L204	EXIT	1/16 x 6 x 6	60" A.F.F.	3	1 AT EACH EXIT, MOUNTED ON WALL, ACCORDING TO ADA GUIDELINES		
L205	OCCUPANCY	1/16 x 6 x 6	60" A.F.F.	1	1 AT CUSTOMER EXIT		
L206	MEN'S RESTROOM TRIANGLE (W/B)	1/4 x 12 x 12	60" A.F.F.	1	MOUNTED ON MEN'S RESTROOM DOOR		
L207	MEN'S RESTROOM (w/ BRAILLE)	1/4 x 9 x 6	60" A.F.F.	1	MOUNTED ON WALL NEXT TO RESTROOM DOOR		
L208	WOMEN'S RESTROOM CIRCLE (W/B)	1/4 x 12 x 12	60" A.F.F.	1	MOUNTED ON WOMEN'S RESTROOM DOOR		
L209	WOMEN'S RESTROOM (w/ BRAILLE)	1/4 x 9 x 6	60" A.F.F.	1	MOUNTED ON WALL NEXT TO RESTROOM DOOR		
L233	PLEASE ASK IF YOU NEED ASSISTANCE (w/ ADA INFOGRAPHIC)	1/16 x 3 x 6	60" A.F.F.	1	AT COUNTER		



PROJECT INFORMATION

FELL - SUNDAL FOR:

VAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

SHEET DATES
ISSUED FOR CONSTRUCTION

MAR. 6, 2025

JOB NUMBER 24030000

T1.2

# **DIVISION 00 PROCUREMENT AND CONTRACTING**

### **00 72 00 GENERAL CONDITIONS**

A. THE AIA GENERAL CONDITIONS A201 LATEST EDITION IS A PART OF THESE DOCUMENTS. COPIES ARE ON FILE AT THE OFFICE OF EXCEL ENGINEERING, INC.

### **00 73 16 INSURANCE REQUIREMENTS**

- A. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER CERTIFICATE OF INSURANCE
- FOR NOT LESS THAN THE FOLLOWING LIMITS: 1. WORKER'S COMPENSATION AND EMPLOYERS LIABILITY:
- a. PER STATUTORY LIMITS 2. COMMERCIAL GENERAL LIABILITY:
- a. GENERAL AGGREGATE: \$2,000,000
- b. PRODUCTS AND COMPLETED OPERATIONS AGGREGATE: \$2,000,000
- c. PERSONAL AND ADVERTISING INJURY: \$1,000,000 d. EACH OCCURRENCE: \$1,000,000
- e. CONTRACTOR SHALL LIST EXCEL ENGINEERING, INC. AS ADDITIONAL INSURED.

# **DIVISION 01 GENERAL REQUIREMENTS**

### 01 11 00 SUMMARY OF WORK

- A. THE PLANS AND SPECIFICATIONS ARE INTENDED TO GIVE A DESCRIPTION OF THE WORK. NO DEVIATION FROM THE PLANS AND SPECIFICATIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF EXCEL ENGINEERING, INC. THE CONTRACTOR IS TO CLARIFY ANY DISCREPANCIES WITH EXCEL ENGINEERING, INC. PRIOR TO BIDDING. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND ACCESS TO THE WORK AREA.
- B. REFERENCE TO "GENERAL CONTRACTOR" OR "GC" IN THE CONSTRUCTION DOCUMENTS IS INTENDED TO REPRESENT THE CONTRACTOR RESPONSIBLE FOR OVERALL CONSTRUCTION AND COORDINATION OF THE WORK. THE "GC" COULD BE A GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR ANY OTHER CONTRACTOR RESPONSIBLE FOR THE OVERALL PROJECT. IT IS THE RESPONSIBILITY OF THE GC TO ASSIGN RESPONSIBILITY FOR ALL WORK.
- C. THE FOLLOWING LIST IS INTENDED TO AID THE GC IN DIRECTING THE SUBCONTRACTORS REGARDING RESPONSIBILITY OF WORK. THE DRAWINGS MAY OR MAY NOT IDENTIFY RESPONSIBILITY FOR THESE SCOPES OF WORK. THIS LIST IS INTENDED TO PROVIDE THE GC AN AID TO ASSIGN THIS WORK SO SCOPE OF WORK IS PROPERLY BID. THE LIST IS NOT INTENDED TO BE ALL INCLUSIVE AND IT REMAINS THE RESPONSIBILITY OF THE GC TO ENSURE ALL SCOPES OF WORK ARE ASSIGNED AND PROVIDED.
- 1. TEMPORARY ELECTRIC SERVICE
- 2. TEMPORARY PHONE / INTERNET TEMPORARY HEATING
- 4. TEMPORARY WATER
- TEMPORARY TOILETS 6. PERMITS AND SALES TAX
- DEMOLITION
- 8. OPENINGS IN EXISTING CONSTRUCTION 9. PIPE SLEEVES IN MASONRY, POURED CONCRETE AND FOUNDATION WALLS
- 10. BOX OUT OPENINGS IN POURED CONCRETE AND FOUNDATION WALLS.
- 11. PATCHING OPENINGS IN FLOORS, WALLS AND ROOF
- 12. ROOFING, FLASHING AND INSULATION AT ROOF CURBS EXCAVATION AND BACKFILL FOR MEP WORK.
- 14. SAWCUTTING AND REMOVAL OF FLOOR FOR UTILITIES
- 15. CONCRETE FLOOR REPLACEMENT WHERE SAWCUT
- 16. LAY-IN CEILING TILE REMOVAL AND REPLACEMENT IN EXISTING AREAS
- 17. LAY-IN CEILING GRID REMOVAL AND REPLACEMENT IN EXISTING AREAS 18. INSTALLATION OF CEILING/WALL ACCESS PANELS
- 19. INSTALLATION OF ROOF CURBS AND ASSOCIATED BLOCKING
- 20. PAINTING 21. SEALANTS
- 22. MOP SINK, FLOOR DRAIN SAFING. 23. INSTALLATION OF APPLIANCES.

# **01 25 13 PRODUCT SUBSTITUTION PROCEDURES**

A. REFERENCE TO MATERIALS OR SYSTEMS HEREIN BY NAME, MAKE OR CATALOG NUMBER IS INTENDED TO ESTABLISH A QUALITY STANDARD, AND NOT TO LIMIT COMPETITION. THE WORDS "OR APPROVED EQUIVALENT" ARE IMPLIED FOLLOWING EACH BRAND NAME/MODEL NUMBER UNLESS STATED OTHERWISE. "OR APPROVED EQUIVALENT" MATERIALS SHALL BE APPROVED BY EXCEL ENGINEERING, INC. PRIOR TO BIDS BEING ACCEPTED AND ACCEPTANCE FOR USE. PROVIDE A LETTER FROM THE MANUFACTURER CERTIFYING THAT THE PRODUCT MEETS OR EXCEEDS THE

# 01 31 00 PROJECT MANAGEMENT AND COORDINATION

- A. THE CONTRACTOR HAS THE SOLE RESPONSIBILITY FOR AND SHALL HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS AND PROCEDURES USED TO CONSTRUCT THE
- B. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL (INCLUDING TAXES) AND EQUIPMENT AS NECESSARY TO COMPLETE THE WORK. PERMITS SHALL BE OBTAINED AND PAID FOR BY THE RESPECTIVE CONTRACTOR, INCLUDING TEMPORARY OCCUPANCY PERMIT IF REQUIRED
- C. REVIT / AUTOCAD FILES OF CONSTRUCTION DOCUMENTS MAY BE OBTAINED BY CONTACTING EXCEL ENGINEERING, INC. 3 DIMENSIONAL MODEL MAY BE PROVIDED TO CONVEY DESIGN INTENT. FILE REQUESTS SHALL BE EMAILED TO EXCEL PROJECT MANAGER AND PROJECT ASSISTANT AND SHALL INCLUDE THE FOLLOWING INFORMATION:
- EXCEL ENGINEERING PROJECT NAME
- 2. EXCEL ENGINEERING PROJECT NUMBER 3. SHEET NUMBERS REQUESTED
- D. REVIT / AUTOCAD FILES REQUEST SHALL BE MADE TO:
- 1. PROJECT MANAGER: TRICIA MUELLENBACH AT TRICIA.MUELLENBACH@EXCELENGINEER.COM
- 2. PROJECT ASSISTANT: LYDIA GREENFIELD AT ARCHRETAIL@EXCELENGINEER.COM E. REVIT / AUTOCAD FILES WILL BE SENT BY METHOD OF EXCEL ENGINEERING, INC. CHOOSING AS SOON AS POSSIBLE.
- F. REVIT / AUTOCAD FILES SHALL NOT BE USED FOR COMPONENT SUBMITTALS OR SHOP DRAWINGS. SUBMITTALS AND SHOP DRAWINGS USING EXCEL ENGINEERING, INC. CAD FILES WILL BE RETURNED REJECTED AND UN-REVIEWED.
- G. ALL "REQUEST FOR INFORMATION" (RFI) SHALL BE MADE THROUGH THE GENERAL CONTRACTOR FOR LOGGING AND TRACKING PURPOSES. RFI'S SHALL BE SUBMITTED TO THE EXCEL ENGINEERING PROJECT ASSISTANT. RFI'S SHALL BE SUBMITTED ON AN ARCHITECT APPROVED FORM, NUMBER SEQUENCE AND INCLUDE THE FOLLOWING INFORMATION:
- EXCEL ENGINEERING PROJECT NAME
- EXCEL ENGINEERING PROJECT NUMBER 3. DIVISION OF CONSTRUCTION REFERENCED
- 4. POTENTIAL SCHEDULE IMPACTS
- 5. POTENTIAL COST IMPACTS OF ANY SUGGESTED ALTERNATES FROM THE CONSTRUCTION DOCUMENTS

# 01 32 00 SCHEDULING OF WORK

A. THE CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL OF THE CONSTRUCTION SCHEDULE PRIOR TO

# 01 33 23 SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES

B. SUBMIT FOR APPROVAL ARCHITECTURAL, CIVIL, STRUCTURAL, HVAC, PLUMBING, FIRE PROTECTION AND ELECTRICAL SHOP DRAWINGS, PRODUCT DATA, TEST RESULTS AND SAMPLES INDICATED IN THE CONSTRUCTION

ADMINISTRATION SUBMITTAL LIST (CASL). SEE DISCIPLINE SPECIFICATIONS FOR DISCIPLINE SPECIFIC CASL.

- C. SHOP DRAWING SUBMITTALS SHALL BE MADE TO EXCEL ENGINEERING, INC. FOR APPROVAL PRIOR TO FABRICATION D. SUBMITTALS SHALL BE MADE BY ELECTRONIC SUBMISSION IN PORTABLE DOCUMENT FORMAT (PDF) UNLESS NOTED
- OTHERWISE. WHEN HARD COPY SUBMISSIONS ARE REQUIRED, COORDINATE WITH EXCEL ENGINEERING, INC. PRIOR E. SUBMITTALS SHALL BE MADE TO THE EXCEL ENGINEERING, INC. PROJECT ASSISTANT.
- 1. PROJECT ASSISTANT: LYDIA GREENFIELD AT <u>ARCHRETAIL@EXCELENGINEER.COM</u>
- F. SUBMITTAL SHALL BE MADE USING APPROVED SUBMITTAL FORM CONTAINING AT MINIMUM THE FOLLOWING INFORMATION:
- EXCEL ENGINEERING PROJECT NAME 2. EXCEL ENGINEERING PROJECT NUMBER
- 3. SUBMITTAL DIVISION OF CONSTRUCTION 4. MATERIAL SUPPLIER / SUB CONTRACTOR
- 5. SUBMITTAL DESCRIPTION (i.e. CONCRETE MIX DESIGN)
- G. SUBMITTALS SHALL BE REVIEWED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMITTING FOR APPROVAL CONTRACTOR SHALL COMPLETE ALL FIELD VERIFICATIONS PRIOR TO SUBMITTAL SUBMISSION.
- H. SUBMITTALS MUST BE 100% COMPLETE AND IN ONE (1) PACKAGE FOR THE ITEM BEING SUBMITTED. NON-COMPLETE SUBMITTALS WILL BE RETURNED TO THE CONTRACTOR WITHOUT COMMENT AND STAMPED "REJECTED-RESUBMIT". CONTRACTORS WHO KNOWINGLY WANT TO SUBMIT NON-COMPLETE SUBMITTALS OR BREAK SINGLE SYSTEM SUBMITTALS INTO MULTIPLE SUBMITTALS WILL BE RESPONSIBLE TO ARRANGE WITH EXCEL ENGINEERING, PRIOR TO SUBMITTING THE SUBMITTAL(S), AND TO COMPENSATE EXCEL ENGINEERING FOR THE EXTRA WORK INVOLVED.
- I. SHOP DRAWINGS SHALL CLEARLY INDICATE SPECIFIC MODEL BEING PROVIDED WHERE CUT SHEETS SHOW MULTIPLE
- J. FAILURE TO SUBMIT SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE SPECIFIED EQUIPMENT AND MATERIALS.
- K. PHYSICAL SAMPLES FOR FINISHES ARE TO BE SUBMITTED TO EXCEL ENGINEERING, INC. FOR APPROVAL PRIOR TO
- L. BUILDING COMPONENTS REQUIRING SUBMISSION "FOR RECORD" TO THE AUTHORITY HAVING JURISDICTION REQUIRE SEALED AND SIGN HARD COPIES, PROVIDE TWO (2) HARD COPIES WITH WET SEAL AND ORIGINAL SIGNATURE IN ADDITION TO THE ELECTRONIC SUBMISSION IN PORTABLE DOCUMENT FORMAT (PDF).

- M. TEST RESULTS SHALL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS OF COMPLETION OF TEST.
- N. CONTRACTOR SHALL ALLOW 10 WORKING DAYS IN SCHEDULE FOR A/E TO REVIEW SUBMITTALS. IF SUBMITTALS REQUIRE AN EXPEDITED REVIEW PROCESS, CONTACT EXCEL ENGINEERING, INC. PRIOR TO SUBMITTING THE
- SUBMITTAL(S) TO MAKE THE APPROPRIATE ARRANGEMENT. O. SUBMITTALS REQUIRING RESUBMISSION SHALL HAVE CHANGES MADE TO A PREVIOUSLY REVIEWED SUBMITTAL DENOTED WITH REVISION CLOUDS AND TAGS IDENTIFYING CHANGES.
- P. ARCHITECTURAL CONSTRUCTION ADMINISTRATION SUBMITTAL LIST: ROUGH CARPENTRY MATERIALS
- 2. EXTERIOR FINISH CARPENTRY MATERIALS
- INSULATION
- 4. WEATHER BARRIER 5. AIR AND MOISTURE BARRIERS
- 6. MEMBRANE ROOFING SYSTEMS
- 7. ROOFING ACCESSORIES 8. PENETRATION FIRE STOPPING
- 9 SFALANTS
- 10. HOLLOW METAL DOORS AND FRAMES
- 11. FLUSH WOOD DOORS
- 12. ALUMINUM FRAMED ENTRANCES AND STOREFRONTS
- 13. DOOR HARDWARE 14. GLAZING
- 15. DRYWALL STUDS
- 16. GYPSUM BOARD 17. TILING
- 18. ACOUSTICAL PANEL CEILINGS 19. RESINOUS FLOORING
- 20. WALL COVERING
- 21. PAINTING SYSTEMS
- 22. SIGNAGE 23. FIRE EXTINGUISHERS 24. TOILET ACCESSORIES
- Q. STRUCTURAL AND ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS. SHOP DRAWING DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, PITCHES, ELEVATIONS, ETC., BEYOND THOSE NOTED AS NECESSARY TO THOROUGHLY DETAIL / FABRICATE THEIR WORK. CONTACT A/E WITH ANY DISCREPANCIES FOUND.
- R. IN NO CASE SHALL CHANGES BE MADE TO WORK SHOWN OR PROCEDURE SPECIFIED ON STRUCTURAL PLANS UNLESS FIRST APPROVED IN WRITING BY A/E. REVIEW OF SHOP DRAWINGS BY A/E DOES NOT CONSTITUTE ACCEPTANCE OF A DESIGN CHANGE. PROPOSED CHANGES BY CONTRACTOR MUST BE SUBMITTED IN RFI FORMAT AND MUST BE APPROVED IN THE SAME MANNER. CONTRACTOR REQUESTING CHANGE MAY BE BILLED ON A TIME AND EXPENSE BASIS BY A/E FOR ALL REDESIGN WORK, FOR ALL NEW SKETCHES PREPARED, AND FOR ALL ADDITIONAL REVIEW TIME RELATED TO THE CHANGES.

# 01 40 00 QUALITY REQUIREMENTS

A. IN AS MUCH AS THE SPECIFICATIONS ARE BRIEF, THE CONTRACTOR SHALL PROVIDE WORKMANSHIP THAT IS NEAT, SECURE AND OF THE BEST QUALITY WITH THE BEST POSSIBLE APPEARANCE AND UTILITY MEETING ALL APPLICABLE STANDARDS. FAULTY WORK SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. INDUSTRY STANDARDS SHALL BE USED AS THE GUIDE FOR QUALITY OF MATERIALS AND WORKMANSHIP.

### 01 41 00 REGULATORY REQUIREMENTS

A. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT (A.D.A.) ARE MADE PART OF THESE SPECIFICATIONS AND SHALL BE COMPLIED WITH AS FAR AS THEY APPLY TO WORK UNDER THIS CONTRACT

# 01 52 00 CONSTRUCTION FACILITIES

A. THE CONTRACTOR SHALL FURNISH TEMPORARY OFFICE, TOILET FACILITIES, WORKING TELEPHONE, ELECTRICITY, HEAT, WATER AND FIRE EXTINGUISHERS AS REQUIRED FOR COMPLETION OF THE WORK UNLESS THE OWNER HAS AGREED IN WRITING TO FURNISH OR WAIVE ANY OF THE ABOVE ITEMS.

# 01 53 00 TEMPORARY CONSTRUCTION

A. THE CONTRACTOR SHALL FURNISH TEMPORARY BRACING OF ALL BUILDING ELEMENTS DURING CONSTRUCTION. TEMPORARY BRACING SYSTEMS SHALL BE DESIGNED TO WITHSTAND CODE DESIGN LOADS. CONTRACTOR SHALL RETAIN SERVICES OF A PROFESSIONAL ENGINEER TO DESIGN AND SUPERVISE BRACING INSTALLATION IF THEY DO NOT HAVE THE EXPERTISE REQUIRED.

01 71 00 FIELD ENGINEERING

A. THE CONTRACTOR SHALL PROVIDE ALL LAYOUT AS REQUIRED, COMPETENT FULLTIME ON SITE SUPERVISION, AND BROOM CLEANING OF CONSTRUCTION SITE INCLUDING DUMPSTERS FOR REFUSE DISPOSAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY ON SITE AND PROTECTION OF SITE PER LOCAL. STATE AND FEDERAL REQUIREMENTS.

# 01 78 00 CLOSEOUT SUBMITTALS

A. THE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS REFLECTING ALL CHANGES DURING CONSTRUCTION. PROVIDE TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS TO OWNER FOR ALL FURNISHED EQUIPMENT.

# **01 78 36 WARRANTIES**

A. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE PROJECT. FURNISH MANUFACTURER'S WRITTEN WARRANTIES FOR SPECIFIED EQUIPMENT STATING EFFECTIVE WARRANTY DATE.

# **DIVISION 02 EXISTING CONDITIONS**

# **02 41 19 SELECTIVE DEMOLITION**

- A. CONDUCT DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- B. IT IS UNKNOWN WHETHER HAZARDOUS MATERIALS WILL BE ENCOUNTERED, DO NOT DISTURB, IMMEDIATELY NOTIFY
- C. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS SHOWN ON THE DEMOLITION PLANS. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF
- D. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED OR TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA

# **DIVISION 06 WOOD, PLASTICS AND COMPOSITES**

# 06 10 00 ROUGH CARPENTRY

A. SEE STRUCTURAL SPECIFICATIONS.

# **06 16 00 SHEATHING**

- 1. PARAPET VERTICAL: MINIMUM 7/16" PLYWOOD DOC PS-1 OR 2, EXPOSURE 1 MINIMUM CLASSIFICATION.
- 2. COORDINATE SHEATHING INSTALLATION SO SHEATHING IS NOT DIRECTLY EXPOSED TO PRECIPITATION OR PROVIDE SHEATHING WARRANTED FOR THE EXPOSURE.
- 3. EXPOSED INTERIOR WALL SHEATHING SHALL BE MINIMUM CDX GRADE. 4. PROVIDE FIRE TREATED SHEATHING WHERE SPECIFIED ON PLANS.
- 5. SEE STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. B. GLASS MAT SHEATHING
- 1. INSTALL IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. 2. NONCOMBUSTIBLE AS TESTED IN ACCORDANCE WITH ASTM E136.
- 3. MANUFACTURED TO MEET ASTM C1177.
- 4. MOLD RESISTANCE PER ASTM D3273 OF 10. 5. FLAME SPREAD AND SMOKE DEVELOP RATING OF 0/0 WHEN TESTED IN ACCORDANCE WITH ASTM E84.
- a. PRODUCT: DENSGLASS GOLD EXTERIOR SHEATHING.
- b. Treated, water-resistant gypsum core surfaced with fiberglass mats and a primer coating. c. MIN. 1/2" THICK. MINIMUM SPAN RATING EQUAL TO SUPPORT SPACING.
- a. VERTICAL

d. 1.9 LBS/SF, >23 PERMS, 0.56 R VALUE.

ROOF

6. WALL

- i. PRODUCT: DENSDECK PRIME ROOF BOARD.
- ii. FIBERGLASS MATS MECHANICALLY BONDED TO FRONT AND BACK OF HIGH DENSITY GYPSUM CORE WITH FACE MAT ENHANCEMENTS TO ALLOW UNIFORM ADHESIVE SPREADING. iii. 900 PSI COMPRESSIVE STRENGTH.
- iv. 2.0 LBS/SF, >35 PERMS, 0.56 R VALUE FOR 1/2" THICK. v. UL 790 CLASSIFIED FOR USE AS A FIRE BARRIER OVER COMBUSTIBLE AND NONCOMBUSTIBLE DECKS. vi. UL 1256 CLASSIFIED FOR INTERNAL (UNDER DECK) FIRE EXPOSURE.
- viii. MINIMUM SPAN RATING EQUAL TO SUPPORT SPACING.
- i. PRODUCT: DENSDECK ROOF BOARD. ii. FIRE BARRIER, THERMAL BARRIER, COVERBOARD AND RECOVERY BOARD. iii. FIBERGLASS MATS MECHANICALLY BONDED TO FRONT AND BACK OF HIGH DENSITY GYPSUM CORE.

- iv. 900 PSI COMPRESSIVE STRENGTH.
- v. 2.0 LBS/SF, >35 PERMS, 0.56 R VALUE FOR 1/2" THICK.
- vi. UL 790 CLASSIFIED FOR USE AS A FIRE BARRIER OVER COMBUSTIBLE AND NONCOMBUSTIBLE DECKS.
- vii. UL 1256 CLASSIFIED FOR INTERNAL (UNDER DECK) FIRE EXPOSURE. viii. FM CLASS 1 FIRE RATING.
- ix. MINIMUM SPAN RATING EQUAL TO FLUTE SPACING.

### 06 17 53 WOOD TRUSSES

A. SEE STRUCTURAL SPECIFICATIONS

# **06 20 13 EXTERIOR FINISH CARPENTRY**

- A. INSTALL EXTERIOR FINISH CARPENTRY LEVEL, PLUMB, TRUE, AND ALIGNED WITH ADJACENT MATERIALS. B. SCRIBE AND CUT EXTERIOR FINISH CARPENTRY TO FIT ADJOINING WORK. REFINISH AND SEAL CUTS AS
- RECOMMENDED BY MANUFACTURER.
- C. INSTALL TRIM WITH MINIMUM NUMBER OF JOINTS PRACTICAL, USING FULL LENGTH PIECES FROM MAXIMUM LENGTHS OF LUMBER AVAILABLE.
- D. INSTALL EXTERIOR FINISH CARPENTRY TO COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

## E. SEE PLANS FOR SIDING, TRIM/FACIA, SOFFIT, ETC MATERIAL TYPE AND LOCATION. **06 20 23 INTERIOR FINISH CARPENTRY**

- A. PREMIUM GRADE S4S HARDWOOD LUMBER, CLEAR, KILN DRIED SELECTED FOR COMPATIBLE GRAIN AND COLOR. B. BEFORE INSTALLING INTERIOR FINISH CARPENTRY, CONDITION MATERIALS TO AVERAGE PREVAILING HUMIDITY IN
- INSTALLATION AREAS FOR A MINIMUM OF 24 HOURS. . INSTALL INTERIOR FINISH CARPENTRY LEVEL, PLUMB, TRUE, AND ALIGNED WITH ADJACENT MATERIALS. D. INSTALL TRIM WITH MINIMUM NUMBER OF JOINTS PRACTICAL, USING FULL LENGTH PIECES FROM MAXIMUM
- LENGTHS OF LUMBER AVAILABLE. COPE AT RETURNS, MITER AT OUTSIDE CORNERS AND COPE AT INSIDE CORNERS TO PRODUCE TIGHT FITTING JOINTS. USE SCARF JOINTS FOR END TO END JOINTS. E. IN STEEL STUD CONSTRUCTION, ATTACH WITH FINISH SCREWS - PREDRILL AND COUNTERSINK FASTENERS, FILL
- SURFACE FLUSH WITH FINISH COMPATIBLE FILLER AND SAND SMOOTH PROVIDE SAMPLE TO OWNER/ INTERIOR

### F. SEE PLANS FOR INTERIOR TRIM AND CARPENTRY MATERIAL TYPE AND LOCATION. G. SEE MATERIAL LEGEND FOR WOOD FINISH.

**07 21 00 INSULATION** A. ALL INSULATION MATERIALS AND INSTALLATION SHALL COMPLY WITH LOCAL AND STATE CODES.

**DIVISION 07 THERMAL AND MOISTURE PROTECTION** 

- B. FIBERGLASS BATT INSULATION
- 1. MANUFACTURER: CERTAINTEED OR OWENS CORNING 2. UNFACED FIBERGLASS BATT OR ROLL COMPLYING WITH ASTM C665 AND NONCOMBUSTIBLE PER ASTM E136. 3. THICKNESS OR R VALUE AS INDICATED ON PLANS. IF THICKNESS IS NOT SHOWN ON PLANS, THICKNESS TO BE THE
- DEPTH OF THE WALL OR RAFTER SYSTEM. 4. STRAP TO PREVENT SLUMPING IF GYPSUM BOARD NOT BEING INSTALLED.
- MANUFACTURER: CERTAINTEED "INSULSAFE SP" THICKNESS AS INDICATED ON PLANS.
- D. BLOWN IN WALL INSULATION MANUFACTURER: CERTAINTEED "OPTIMA"

C. BLOWN IN FIBER GLASS INSULATION

- E. ACOUSTICAL WALL INSULATION MANUFACTURER: CERTAINTEED
- WOOD FRAME WALLS: NOISE REDUCER SOUND CONTROL BATTS 3. METAL FRAMED WALLS: CERTASOUND SOUND ATTENUATION BATTS
- 4. CEILINGS: CERTASOUND SOUND ATTENUATION BATTS
- 2. TWO COMPONENT THERMAL INSULATION PRODUCED BY COMBINING A PLASTIC RESIN AND CATALYST FOAMING AGENT SURFACTANT WHICH, WHEN PROPERLY RATIOED AND MIXED, TOGETHER WITH COMPRESSED AIR PRODUCE A COLD-SETTING FOAM INSULATION IN THE HOLLOW CORES OF HOLLOW UNIT MASONRY WALLS.
- 3. THERMAL VALUE: "R" VALUE OF 4.91/INCH AT 32 DEGREES F MEAN; ASTM C-177. G. FOUNDATION DRAINAGE PANELS
- MANUFACTURER: DOW STYROFOAM PERIMATE EXTRUDED POLYSTYRENE (XPS) INSULATION PANELS. 2. 30 PSI MIN. VERTICAL COMPRESSIVE STRENGTH MEASURED AT 10% STRAIN DEFORMATION OR AT YIELD,

MANUFACTURER: TAILORED CHEMICAL PRODUCTS "CORE-FILL 500" FOAM-IN PLACE

- WHICHEVER OCCURS FIRST. 3. THERMAL VALUE "R" VALUE OF 5.0 PER 1.063 INCHES.
- 4. 2.125 INCHES THICK, R=10. H. PERIMETER FOUNDATION INSULATION 1. MANUFACTURER: DOW STYROFOAM SQUARE EDGE EXTRUDED POLYSTYRENE (XPS) INSULATION PANELS, 25 PSI
- MIN. VERTICAL COMPRESSIVE STRENGTH MEASURED AT 10% STRAIN DEFORMATION OR AT YIELD, WHICHEVER OCCURS FIRST. THERMAL VALUE "R" VALUE OF 5.0 PER INCH. 2 INCHES THICK, R=10. MANUFACTURER: PLYMOUTH FOAM GOLD-GUARD FOUNDATION PERIMETER INSULATION EXPANDED

POLYSTYRENE (EPS) INSULATION, 25 PSI MIN. VERTICAL COMPRESSIVE STRENGTH MEASURED AT 10% STRAIN

- DEFORMATION, THERMAL VALUE "R" VALUE OF 4.35 PER INCH. 2.3 INCHES THICK, R=10. 1. MANUFACTURER: DOW STYROFOAM SQUARE EDGE EXTRUDED POLYSTYRENE (XPS) INSULATION PANELS,
- THERMAL VALUE "R" VALUE OF 5.0 PER INCH. 2. 25 PSI MIN. VERTICAL COMPRESSIVE STRENGTH MEASURED AT 10% STRAIN DEFORMATION OR AT YIELD, WHICHEVER OCCURS FIRST, EXCEPT WHERE PLANS/DETAILS INDICATE HIGHER VALUE. STYROFOAM HIGHLOAD INSULATION WHERE HIGHER VERTICAL COMPRESSIVE STRENGTHS ARE REQUIRED (MIN. VERTICAL COMPRESSIVE
- STRENGTH MEASURED AT 5% STRAIN DEFORMATION OR AT YIELD, WHICHEVER OCCURS FIRST). 3. THICKNESS AS INDICATED ON PLANS.
- J. SPRAY POLYURETHANE FOAM INSULATION 1. MANUFACTURER: BASF SPRAYTITE 81206 XF.
- 2. SPRAYTITE 81206 XF FOR AMBIENT TEMPERATURE RANGE OF 29 TO 65 DEG F. SPRAYTITE 81206 F FOR AMBIENT TEMPERATURE RANGE OF 60 TO 120 DEG F. 3. TWO COMPONENT CLOSED CELL SPRAY POLYURETHANE FOAM INSULATION TO MEET NFPA 285 AND ASTM E84 (CLASS 1) WITH FLAME SPREAD INDEX LESS THAN 25 AND SMOKE DEVELOPED LESS THAN 450. MINIMUM DENSITY
- 4. THERMAL VALUE: "R" VALUE OF 6.7 PER INCH
- 5. "R" VALUE AS INDICATED ON THE PLAN.
- K. THERMAL BARRIER / IGNITION BARRIER INTUMESCENT COATING 1. MANUFACTURER: NO-BURN PLUS THB
- THICKNESS AS REQUIRED BY MANUFACTURER TO MEET CODE. 3. COLOR SELECTED BY OWNER (WHITE, GRAY, DARK CHARCOAL). L. ROOF INSULATION
- SEE ROOF PLAN. M. RIGID CAVITY WALL INSULATION IN MASONRY CAVITY WALLS
- 2. EXTRUDED POLYSTYRENE INSULATION, 15 PSI COMPRESSIVE STRENGTH 3. THERMAL VALUE: "R" VALUE OF 5 PER INCH

1. MANUFACTURER: DOW STYROFOAM CAVITYMATE OR PLYMOUTH FOAM

- 4. THICKNESS AS SHOWN ON THE PLAN. N. RIGID CAVITY WALL INSULATION IN WOOD STUD WALLS
- MANUFACTURER: DUPONTOW STYROFOAM CAVITYMATE
- 2. EXTRUDED POLYSTYRENE INSULATION, 15 PSI COMPRESSIVE STRENGTH
- 4. THICKNESS AS SHOWN ON THE PLAN. O. RIGID AIR AND MOISTURE BARRIER INSULATION 1. MANUFACTURER: DUPONT THERMAX XARMOR CI (CONTINUOUS INSULATION)

3. THERMAL VALUE: "R" VALUE OF 5 PER INCH

- 2. RIGID FOIL FACED POLYISOCYANURATE BOARD INSULATION, 25 PSI COMPRESSIVE STRENGTH, 4.0 MIL EMBOSSED ACRYLIC-COATED EXTERIOR FOIL FACER AND 1.25 MIL EMBOSSED ALUMINUM BACK INTERIOR FACER. 3. THERMAL VALUE: "R" VALUE OF 6.5 PER INCH.
- 4. THICKNESS AS INDICATED ON THE PLANS. 5. FASTEN RIGID INSULATION BOARDS TO SUBSTRATE WITH THRUFAST THERMAL-GRIP OR OTHER DUPONT APPROVED FASTENERS PER MANUFACTURER GUIDELINES.
- a. MANUFACTURER: DUPONT LIQUIDARMOR-CM, LIQUIDARMOR LT, LIQUIDARMOR QS AND LIQUIDARMOR RS. PROVIDE MANUFACTURER SPECIFIED THICKNESS AND WIDTH OF LIQUIDARMOR PRODUCT. MAKE LIQUIDARMOR PRODUCT AVAILABLE TO ALL TRADES MAKING PENETRATIONS IN THE EXTERIOR WALL. b. COORDINATE SEQUENCE OF FLASHING INSTALLATIONS WITH OTHER TRADES.

c. COMPLETE WATER-RESISTIVE BARRIER BY SEALING ALL END AND EDGE JOINTS, THRU-WALL PENETRATIONS,

WINDOW AND DOOR OPENINGS, PENETRATIONS AND TRANSITION FLASHINGS WITH MANUFACTURER'S

- FLASHING AND SEALANT PRODUCT. PRE-INSTALLATION MEETING: PRIOR TO APPLICATION OF WALL SYSTEM, CONTRACTOR SHALL REVIEW AND DOCUMENT METHODS AND PROCEDURES RELATED TO INSTALLATION WITH APPLICATOR AND MANUFACTURER
- 8. INSTALLATION REVIEW: PROVIDE INSTALLATION INSPECTION COMPLETED BY MANUFACTURER CERTIFIED REPRESENTATIVE. PROVIDE INSPECTION REPORT TO ARCHITECT. PROVIDE PHOTOS OF WALL BASE FLASHING, WINDOW OPENING PERIMETER AND EXAMPLE MECHANICAL PENETRATIONS THRU EXTERIOR WALL. 9. CONTRACTOR SHALL CALL AND SCHEDULE PRE-INSTALLATION MEETING AND INSTALLATION REVIEW WITH MFR

AND PROVIDE OWNER FINAL WARRANTY CERTIFICATE AS PART OF THE CLOSEOUT SUBMITTALS.

10. THERMAX WALL SYSEM GOLD WARRANTY: CONTRACTOR SHALL COORDINATE AND COMPLETE APPICABLE FORMS

MANUFACTURER: DUPONT STYROFOAM SILL SEAL FOAM GASKET. 2. FOLLOW MANUFACTURER'S INSTRUCTIONS ON PRODUCT STORAGE AND HANDLING.

- **07 27 26 AIR AND MOISTURE BARRIER** A. ALL AIR AND MOISTURE BARRIER MATERIALS AND INSTALLATION SHALL COMPLY WITH LOCAL AND STATE CODES. B. SUBMIT THE FOLLOWING ITEMS:
- E. STORE MOISTURE SENSITIVE MATERIALS IN WEATHER PROTECTED ENCLOSURES. F. INSTALL AIR AND MOISTURE BARRIER IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS SHOWN ON PLANS. G. PROVIDE INSTALLATION INSPECTION COMPLETED BY MANUFACTURER CERTIFIED REPRESENTATIVE. PROVIDE

3. INSTALL INSULATION IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS SHOWN

2. MEMBRANE VAPOR RETARDER INSTALLED ON WARM SIDE (NORMALLY INSIDE) FACE OF THE INSULATION. MAX

5. CONTRACTOR SHALL VERIFY THICKNESS AND CLASS WITH CONCRETE PLACEMENT MEANS AND METHODS.

INSPECTION REPORT TO ARCHITECT. H. SHEET APPLIED.

**07 26 00 VAPOR RETARDERS** 

A. WALL / UNDERSIDE OF ATTIC

B. UNDER SLAB

PERM 1.0 PER ASTM E-96.

1. MANUFACTURER: CERTAINTEED "MEMBRAIN"

1. MANUFACTURER: STEGO WRAP VAPOR BARRIER.

2. 15 MIL POLYOLEFIN-BASED RESIN. ASTM E1745 CLASS A MAX PERM 0.01.

4. SEAL ALL JOINTS WITH MFR APPROVED TAPE OR MASTIC PER MFR INSTRUCTIONS.

C. FOLLOW MANUFACTURER'S INSTRUCTIONS ON PRODUCT STORAGE AND HANDLING.

D. CONDUCT ON-SITE PREINSTALLATION CONFERENCE WITH MANUFACTURER'S REPRESENTATIVE.

3. MINIMUM 2,200 GRAMS PUNCTURE RESISTANCE ASTM D 1709.

1. PRODUCT DATA: MANUFACTURER'S TECHNICAL BULLETINS.

- 2. COMMERCIAL BUILDING WRAP TO BE TYVEK COMMERCIAL WRAP D.
- I. FLUID APPLIED 1. PROVIDE A COMPLETE AIR AND MOISTURE BARRIER SYSTEM USING A FLUID APPLIED THREE-PART SYSTEM. THE
- SYSTEM CONSISTS OF ADHESIVE MESH TAPE AND LIQUID FILL AND SPRAY WRAP. 2. ACCEPTABLE PRODUCT: PROSOCO R-GUARD MVP 3. APPLY R-GUARD TAPE OVER SHEATHING JOINTS AND SEAMS. FOLD AND APPLY R-GUARD TAPE TO ROUGH OPENINGS, INSIDE AND OUTSIDE CORNERS. USE A SEAM ROLLER OR OTHER BLUNT TOOL TO FIRMLY ADHERE TAPE
- 4. UNIFORMLY COVER TAPE AND ABOUT 4 INCHES OF SHEATHING ON EITHER SIDE OF THE TAPE WITH R-GUARD FILL USING A TROWEL OR TEXTURE SPRAYER. TROWEL SMOOTH. SPOT FILL FASTENERS AND SURFACE DEFECTS WITH R-
- 5. SPRAY OR ROLLER APPLY R-GUARD SPRAY WRAP TO THE ENTIRE SURFACE-INCLUDING AREAS COVERED BY R-GUARD TAPE AND R-GUARD FILL TO A UNIFORM WET MIL THICKNESS (10 MILS). LET DRY. ON MASONRY CONSTRUCTION, WHEN SPRAY APPLYING, BACKROLL TO CLOSE PINHOLES AND ENSURE EVEN COVERAGE. APPLY
- NUMBER OF COATS AS REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- a. ACCEPTABLE PRODUCT: ZIP SYSTEM WALL SHEATHING W/INTEGRAL AIR AND MOISTURE BARRIER. 2. ORIENTED STRAND BOARD WOOD STRUCTURAL PANELS WITH BUILT-IN PROTECTIVE OVERLAYS TO MEET GRADE D
- WRB MOISTURE BARRIER AND 0.037 L/(S-M2) AIR BARRIER 3. MINIMUM 7/16" THICK.

ELIGIBLE TO RECEIVE MANUFACTURER'S WARRANTIES.

4. MINIMUM SPAN RATING EQUAL TO SUPPORT SPACING.

1. PROVIDE A COMPLETE AIR AND MOISTURE BARRIER SHEATHING SYSTEM.

- 5. DOC PS-2, EXPOSURE 1 6. APPLY BUTYL RUBBER SELF-SEALING, SELF-HEALING, FULLY ADHERED ZIP TAPE OVER SHEATHING JOINTS AND SEAMS. AROUND PENETRATIONS, GAPS, AND INTO OPENINGS.
- 7. FOLD AND APPLY ZIP TAPE TO ROUGH OPENINGS, INSIDE AND OUTSIDE CORNERS. 8. USE A SEAM ROLLER OR OTHER BLUNT TOOL TO FIRMLY ADHERE TAPE TO SHEATHING, OR SPRAY APPLY ZIP SYSTEM LIQUID FLASH.
- K. ALL SURROUNDING AREAS, WHERE THE AIR AND MOISTURE BARRIER HAS BEEN INSTALLED, SHALL BE LEFT FREE OF DEBRIS AND FOREIGN SUBSTANCES RESULTING FROM THE WORK. L. PROTECT FINISHED WORK FROM DAMAGE DURING REMAINDER OF CONSTRUCTION PERIOD.
- 07 53 23 ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING A. INSTALLER SHALL BE APPROVED, AUTHORIZED OR LICENSED BY A MINIMUM OF TWO OF APPROVED SYSTEM MANUFACTURERS, FOR MINIMUM OF 5 CONSECUTIVE YEARS, TO INSTALL MANUFACTURER'S PRODUCTS AND IS
- B. PROVIDE FM APPROVALS ROOFNAV LISTING FOR CLASS 1 OR NONCOMBUSTIBLE CONSTRUCTION WITH SYSTEM C. FASTENING SYSTEM SHALL BE CAPABLE OF WITHSTANDING WIND UPLIFT REQUIREMENTS INDICATED ON THE
- STRUCTURAL PLANS. D. CONDUCT ON-SITE PREINSTALLATION CONFERENCE WITH ALL TRADES INTERFACING OR ADJACENT TO THE ROOFING SYSTEM. INCLUDE MANUFACTURER'S REPRESENTATIVE.

E. ALL COMPONENTS OF THE ROOFING SYSTEM SHALL BE PROVIDED FROM A SINGLE SOURCE, INCLUDING ALL AUXILIARY

G. COMPLY WITH MEMBRANE ROOFING SYSTEM AND INSULATION MANUFACTURER'S WRITTEN INSTRUCTIONS AND

K. INSTALL SHEET FLASHINGS AND PREFORMED FLASHING ACCESSORIES AND ADHERE TO SUBSTRATES ACCORDING TO

P. INCLUDE COPY OF MANUFACTURER'S FINAL INSTALLATION INSPECTION ACCEPTANCE REPORT AND WARRANTY UPON

- AND ACCESSORIES MATERIALS FOR A COMPLETE INSTALLATION. F. COORDINATE INSTALLING MEMBRANE ROOFING SYSTEM COMPONENTS SO INSULATION IS NOT EXPOSED TO PRECIPITATION OR LEFT EXPOSED AT THE END OF THE WORKDAY.
- DETAILS FOR INSTALLING ROOF INSULATION. H. FILL ALL GAPS EXCEEDING 1/4" IN WIDTH WITH INSULATION. I. INSTALL MEMBRANE ROOFING OVER AREA TO RECEIVE ROOFING ACCORDING TO MEMBRANE ROOFING SYSTEM
- MANUFACTURER'S WRITTEN INSTRUCTIONS J. SEAM MEMBRANE ROOFING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS TO ENSURE A WATERTIGHT
- MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS. L. PROTECT ROOFING SYSTEM FOR DURATION OF CONSTRUCTION FROM DAMAGE FROM CONSTRUCTION ACTIVITIES. PROTECT AT ALL LOCATIONS WHERE CUTTING, GRINDING OR OTHER HOT WORK IS BEING COMPLETED. M. CONDUCT ROUTINE ROOF DEBRIS CLEANING AND INSPECTION DURING THE DURATION OF CONSTRUCTION
- N. CLEAN OVERSPRAY OR SPILLAGE FROM ADJACENT CONSTRUCTION USING CLEANING AGENTS AND PROCEDURES RECOMMENDED BY MANUFACTURER OF AFFECTED CONSTRUCTION. O. SEE PLANS FOR SYSTEMS REQUIREMENTS INCLUDING WARRANTY, MATERIAL TYPE AND LOCATION OF USE.
- 07 54 23 THERMOPLASTIC POLYOLEFIN (TPO) ROOFING A. INSTALLER SHALL BE APPROVED, AUTHORIZED OR LICENSED BY A MINIMUM OF TWO OF APPROVED SYSTEM MANUFACTURERS FOR MINIMUM OF 5 CONSECUTIVE YEARS TO INSTALL MANUFACTURER'S PRODUCTS AND IS
- B. PROVIDE FM APPROVALS ROOFNAV LISTING FOR CLASS 1 OR NONCOMBUSTIBLE CONSTRUCTION WITH SYSTEM C. FASTENING SYSTEM SHALL BE CAPABLE OF WITHSTANDING WIND UPLIFT REQUIREMENTS INDICATED ON THE
- SYSTEM. INCLUDE MANUFACTURER'S REPRESENTATIVE. E. ALL COMPONENTS OF THE ROOFING SYSTEM SHALL BE PROVIDED FROM A SINGLE SOURCE INCLUDING ALL AUXILIARY AND ACCESSORIES MATERIALS FOR A COMPLETE INSTALLATION.

F. COORDINATE INSTALLING MEMBRANE ROOFING SYSTEM COMPONENTS SO INSULATION IS NOT EXPOSED TO

D. CONDUCT ON-SITE PREINSTALLATION CONFERENCE WITH ALL TRADES INTERFACING OR ADJACENT TO THE ROOFING

- PRECIPITATION OR LEFT EXPOSED AT THE END OF THE WORKDAY. G. COMPLY WITH MEMBRANE ROOFING SYSTEM AND INSULATION MANUFACTURER'S WRITTEN INSTRUCTIONS AND DETAILS FOR INSTALLING ROOF INSULATION. H. FILL ALL GAPS EXCEEDING 1/4" IN WIDTH WITH INSULATION.
- I. INSTALL MEMBRANE ROOFING OVER AREA TO RECEIVE ROOFING ACCORDING TO MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS. J. SEAM MEMBRANE ROOFING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS TO ENSURE A WATERTIGHT

K. INSTALL SHEET FLASHINGS AND PREFORMED FLASHING ACCESSORIES AND ADHERE TO SUBSTRATES ACCORDING TO

P. INCLUDE COPY OF MANUFACTURER'S FINAL INSTALLATION INSPECTION ACCEPTANCE REPORT AND WARRANTY UPON

- L. PROTECT ROOFING SYSTEM FOR DURATION OF CONSTRUCTION FROM DAMAGE FROM CONSTRUCTION ACTIVITIES. PROTECT AT ALL LOCATIONS WHERE CUTTING, GRINDING OR OTHER HOT WORK IS BEING COMPLETED. M. CONDUCT ROUTINE ROOF DEBRIS CLEANING AND INSPECTION DURING THE DURATION OF CONSTRUCTION
- N. CLEAN OVERSPRAY OR SPILLAGE FROM ADJACENT CONSTRUCTION USING CLEANING AGENTS AND PROCEDURES RECOMMENDED BY MANUFACTURER OF AFFECTED CONSTRUCTION.

O. SEE PLANS FOR SYSTEMS REQUIREMENTS INCLUDING WARRANTY, MATERIAL TYPE AND LOCATION OF USE.

# **07 84 13 PENETRATION FIRESTOPPING** A. PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:

MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.

### 1. HILTI, INC. 2. JOHNS MANVILLE

INSTALLATION COMPLETION.

INSTALLATION COMPLETION.

ELIGIBLE TO RECEIVE MANUFACTURER'S WARRANTIES

- 3. 3M FIRE PROTECTION PRODUCTS
- 4. TREMCO, INC. TREMCO FIRE PROTECTION SYSTEMS GROUP
- 6. <u>RECTORSEAL METACAULK FIRESTOPPING PRODUCTS</u>

Always a Better Plan 100 Camelot Drive

Fond du Lac, WI 54935

920-926-9800

excelengineer.com

PROJECT INFORMATION

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PROFESSIONAL SEAL

SHEET DATES ISSUED FOR CONSTRUCTION

MAR. 6, 2025

**SHEET NUMBER** 

**JOB NUMBER** 240300000

ARCHITECTURAL SPECIFICATIONS

- B. PROVIDE PENETRATION FIRESTOPPING THAT IS PRODUCED AND INSTALLED TO RESIST SPREAD OF FIRE ACCORDING TO INDICATED REQUIREMENTS, RESIST PASSAGE OF SMOKE AND OTHER GASES AND MAINTAIN ORIGINAL FIRE-RESISTANCE RATING OF CONSTRUCTION PENETRATED. PENETRATION FIRESTOPPING SYSTEMS SHALL BE COMPATIBLE WITH ONE ANOTHER, WITH THE SUBSTRATES FORMING OPENINGS, AND WITH ANY PENETRATING ITEMS.
- C. PENETRATIONS IN FIRE-RESISTANCE-RATED WALLS: 1. RATINGS DETERMINED PER ASTM E 814 OR UL 1479.
- 2. F-RATING NOT LESS THAN THE FIRE-RESISTANCE RATING OF CONSTRUCTIONS PENETRATED.
- D. PENETRATIONS IN HORIZONTAL ASSEMBLIES: 1. RATINGS DETERMINED PER ASTM E 814 OR UL 1479.
- 2. F-RATING AT LEAST 1 HOUR, BUT NOT LESS THAN THE FIRE-RESISTANCE RATING OF CONSTRUCTIONS
- 3. T-RATING AT LEAST 1 HOUR, BUT NOT LESS THAN THE FIRE-RESISTANCE RATING OF CONSTRUCTIONS
- PENETRATED EXCEPT FOR FLOOR PENETRATIONS WITHIN THE CAVITY OF A WALL. F PENETRATIONS IN SMOKE BARRIERS:
- 1. PROVIDE PENETRATION FIRESTOPPING WITH RATINGS DETERMINED PER UL 1479. 2. L-RATING NOT EXCEEDING 5.0 CFM/SF OF PENETRATION OPENING AT BOTH AMBIENT AND ELEVATED
- F. EXPOSED PENETRATION FIRESTOPPING: PROVIDE PRODUCTS WITH FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF LESS THAN 25 AND 450, RESPECTIVELY, AS DETERMINED PER ASTM E 84. G. ACCESSORIES: PROVIDE COMPONENTS FOR EACH PENETRATION FIRESTOPPING SYSTEM THAT ARE NEEDED TO INSTALL FILL MATERIALS AND TO MAINTAIN REQUIRED RATINGS. USE ONLY THOSE COMPONENTS SPECIFIED BY
- H. EXAMINE SUBSTRATES AND CONDITIONS FOR COMPLIANCE WITH REQUIREMENTS FOR OPENING CONFIGURATIONS,

PENETRATION FIRE STOPPING MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR

- PENETRATING ITEMS, SUBSTRATES, AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK. I. SUBMIT FIRE STOPPING SUBMITTAL PACKAGE WITH DETAILS OF ALL PENETRATIONS AND FIRESTOPPING TO BE USED ON THE PROJECT TO AHJ 30 DAYS PRIOR TO INSTALLATION.
- J. INSTALL PENETRATION FIRE STOPPING TO COMPLY WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND PUBLISHED DRAWINGS FOR PRODUCTS AND INDICATED APPLICATIONS.
- K. INSTALL FORMING MATERIALS AND OTHER ACCESSORIES OF TYPES REQUIRED TO SUPPORT FILL MATERIALS DURING THEIR APPLICATION AND IN THE POSITION NEEDED TO PRODUCE CROSS-SECTIONAL SHAPES AND DEPTHS REQUIRED TO ACHIEVE FIRE RATINGS INDICATED.
- 1. AFTER INSTALLING FILL MATERIALS AND ALLOWING THEM TO FULLY CURE, REMOVE COMBUSTIBLE FORMING MATERIALS AND OTHER ACCESSORIES NOT INDICATED AS PERMANENT COMPONENTS OF FIRESTOPPING.
- L. INSTALL FILL MATERIALS FOR FIRESTOPPING BY PROVEN TECHNIQUES TO PRODUCE THE FOLLOWING RESULTS:
- 1. FILL VOIDS AND CAVITIES FORMED BY OPENINGS, FORMING MATERIALS, ACCESSORIES, AND PENETRATING ITEMS AS REQUIRED TO ACHIEVE FIRE-RESISTANCE RATINGS INDICATED.
- 2. APPLY MATERIALS SO THEY CONTACT AND ADHERE TO SUBSTRATES FORMED BY OPENINGS AND PENETRATING
- 3. FINISH FILL MATERIALS THAT WILL REMAIN EXPOSED AFTER COMPLETING THE WORK TO PRODUCE SMOOTH, UNIFORM SURFACES THAT ARE FLUSH WITH ADJOINING FINISHES.
- M. IDENTIFY PENETRATION FIRESTOPPING WITH PREPRINTED METAL OR PLASTIC LABELS. ATTACH LABELS PERMANENTLY TO SURFACES ADJACENT TO AND WITHIN 6 INCHES OF FIRESTOPPING EDGE SO LABELS WILL BE VISIBLE TO ANYONE SEEKING TO REMOVE PENETRATING ITEMS OR FIRESTOPPING. USE MECHANICAL FASTENERS OR SELF-ADHERING TYPE LABELS WITH ADHESIVES CAPABLE OF PERMANENTLY BONDING LABELS TO SURFACES ON WHICH LABELS ARE PLACED. INCLUDE THE FOLLOWING INFORMATION ON LABELS:
- 1. THE WORDS "WARNING PENETRATION FIRESTOPPING DO NOT DISTURB. NOTIFY BUILDING MANAGEMENT OF
- 2. CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER
- 3. DESIGNATION OF APPLICABLE TESTING AND INSPECTING AGENCY
- 4. DATE OF INSTALLATION MANUFACTURER'S NAME
- N. PROVIDE OWNER WITH DETAILS OF ALL INSTALLATIONS AND PRODUCTS USED. AT PROJECT CLOSEOUT.

### 07 84 46 - FIRE-RESISTIVE JOINT SYSTEMS

- A. WHERE REQUIRED, PROVIDE FIRE-RESISTIVE JOINT SYSTEMS THAT ARE PRODUCED AND INSTALLED TO RESIST SPREAD OF FIRE ACCORDING TO REQUIREMENTS INDICATED, RESIST PASSAGE OF SMOKE AND OTHER GASES, AND MAINTAIN ORIGINAL FIRE-RESISTANCE RATING OF ASSEMBLIES IN OR BETWEEN WHICH FIRE-RESISTIVE JOINT SYSTEMS ARE INSTALLED. FIRE-RESISTIVE JOINT SYSTEMS SHALL ACCOMMODATE BUILDING MOVEMENTS WITHOUT IMPAIRING THEIR ABILITY TO RESIST THE PASSAGE OF FIRE AND HOT GASES.
- B. PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
- HILTI, INC. 2. JOHNS MANVILLE
- 3. 3M FIRE PROTECTION PRODUCTS 4. THERMAFIBER, INC.
- 5. TREMCO, INC. TREMCO FIRE PROTECTION SYSTEM GROUP 6. USG CORPORATION
- 7. RECTORSEAL METACAULK FIRESTOPPING PRODUCTS
- C. JOINTS IN OR BETWEEN FIRE-RESISTANCE-RATED CONSTRUCTION: 1. RATINGS DETERMINED PER ASTM E 1966 OR UL 2079.
- 2. FIRE-RESISTANCE RATING EQUAL TO OR EXCEEDING THE FIRE-RESISTANCE RATING OF CONSTRUCTION THEY WILL
- D. JOINTS AT EXTERIOR CURTAIN-WALL/FLOOR INTERSECTIONS: 1. RATING DETERMINED BY ASTM E 119 OR ASTM E 2307.
- 2. FIRE-RESISTANCE RATING EQUAL TO OR EXCEEDING THE FIRE-RESISTANCE RATING OF THE FLOOR ASSEMBLY.
- E. JOINTS IN SMOKE BARRIERS:
- RATINGS DETERMINED PER UL 2079.
- 2. L-RATING NOT EXCEEDING 5.0 CFM/FT OF JOINT AT BOTH AMBIENT AND ELEVATED TEMPERATURES. F. EXPOSED FIRE-RESISTIVE JOINT SYSTEMS: PROVIDE PRODUCTS WITH FLAME-SPREAD AND SMOKE-DEVELOPED
- INDEXES OF LESS THAN 25 AND 450, RESPECTIVELY, AS DETERMINED PER ASTM E 84.
- G. ACCESSORIES: PROVIDE COMPONENTS OF FIRE-RESISTIVE JOINT SYSTEMS, INCLUDING PRIMERS AND FORMING MATERIALS, THAT ARE NEEDED TO INSTALL FILL MATERIALS AND TO MAINTAIN REQUIRED RATINGS. USE ONLY COMPONENTS SPECIFIED BY FIRE-RESISTIVE JOINT SYSTEM MANUFACTURER AND APPROVED BY THE QUALIFIED TESTING AGENCY FOR SYSTEMS INDICATED.
- H. EXAMINE SUBSTRATES AND CONDITIONS FOR COMPLIANCE WITH REQUIREMENTS FOR JOINT CONFIGURATIONS, SUBSTRATES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK.

I. INSTALL FIRE-RESISTIVE JOINT SYSTEMS TO COMPLY WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS

- AND PUBLISHED DRAWINGS FOR PRODUCTS AND APPLICATIONS. J. INSTALL FORMING MATERIALS AND OTHER ACCESSORIES OF TYPES REQUIRED TO SUPPORT FILL MATERIALS DURING
- THEIR APPLICATION AND IN POSITION NEEDED TO PRODUCE CROSS-SECTIONAL SHAPES AND DEPTHS REQUIRED TO 1. AFTER INSTALLING FILL MATERIALS AND ALLOWING THEM TO FULLY CURE, REMOVE COMBUSTIBLE FORMING
- MATERIALS AND OTHER ACCESSORIES NOT INDICATED AS PERMANENT COMPONENTS OF FIRE-RESISTIVE JOINT K. INSTALL FILL MATERIALS FOR FIRE-RESISTIVE JOINT SYSTEMS BY PROVEN TECHNIQUES TO PRODUCE THE FOLLOWING
- 1. FILL VOIDS AND CAVITIES FORMED BY JOINTS AND FORMING MATERIALS AS REQUIRED TO ACHIEVE INDICATED FIRE RESISTANCE RATINGS.
- 2. APPLY FILL MATERIALS SO THEY CONTACT AND ADHERE TO SUBSTRATES FORMED BY JOINTS.
- 3. FINISH FILL MATERIALS THAT WILL REMAIN EXPOSED AFTER COMPLETING THE WORK TO PRODUCE SMOOTH, UNIFORM SURFACES THAT ARE FLUSH WITH ADJOINING FINISHES.
- L. IDENTIFY FIRE-RESISTIVE JOINT SYSTEMS WITH PREPRINTED METAL OR PLASTIC LABELS. ATTACH LABELS PERMANENTLY TO SURFACES ADJACENT TO AND WITHIN 6 INCHES OF JOINT EDGE SO LABELS WILL BE VISIBLE TO ANYONE SEEKING TO REMOVE OR PENETRATE JOINT SYSTEM. USE MECHANICAL FASTENERS OR SELF-ADHERING TYPE
- INCLUDE THE FOLLOWING INFORMATION ON LABELS: 1. THE WORDS "WARNING - FIRE-RESISTIVE JOINT SYSTEM - DO NOT DISTURB. NOTIFY BUILDING MANAGEMENT OF

LABELS WITH ADHESIVES CAPABLE OF PERMANENTLY BONDING LABELS TO SURFACES ON WHICH LABELS ARE PLACED.

- 2. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER
- 3. DESIGNATION OF APPLICABLE TESTING AGENCY 4. DATE OF INSTALLATION
- MANUFACTURER'S NAME 6. INSTALLER'S NAME

# **07 92 00 SEALANTS**

- 1. IT IS THE INTENTION OF THIS SPECIFICATION THAT ALL JOINTS ARE TO RECEIVE SEALANT.
- 2. APPLY SEALANT IN ALL INDICATED LOCATIONS ACCORDING TO THE MANUFACTURER'S WRITTEN INSTRUCTIONS, INCLUDING BUT NOT LIMITED TO; JOINT WIDTH, SURFACE PREPARATION, PRIMERS, APPLICATION TEMPERATURE
- 3. APPLY SEALANT AFTER FINISH OPERATIONS ARE COMPLETE.
- 4. SEALANT COLOR TO MATCH ADJACENT FINISH. 5. PROVIDE APPROPRIATE SIZED BACKER RODS AND BOND BREAK AT ALL JOINTS UNLESS OTHERWISE NOTED IN THE
- MANUFACTURER'S INSTRUCTIONS. B. SEE SCHEDULE ON PLANS.

# **DIVISION 08 OPENINGS**

# **08 11 13 HOLLOW METAL DOORS AND FRAMES**

A. HOLLOW METAL FRAMES: COMPLY WITH ANSI/SDI A250.11.

- 1. SET FRAMES ACCURATELY IN POSITION, PLUMBED, ALIGNED, AND BRACED SECURELY UNTIL PERMANENT ANCHORS ARE SET. AFTER WALL CONSTRUCTION IS COMPLETE, REMOVE TEMPORARY BRACES, LEAVING SURFACES SMOOTH AND UNDAMAGED.
- 2. AT FIRE-PROTECTION-RATED OPENINGS, INSTALL FRAMES ACCORDING TO NFPA 80.
- B. HOLLOW METAL DOORS: FIT HOLLOW METAL DOORS ACCURATELY IN FRAMES, WITHIN CLEARANCES. SHIM AS NECESSARY TO ACHIEVE CLEARANCES INDICATED.
- 1. FIRE-RATED DOORS: INSTALL DOORS WITH CLEARANCES ACCORDING TO NFPA 80. 2. SMOKE-CONTROL DOORS: INSTALL DOORS ACCORDING TO NFPA 105.
- SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL DOORS AND FRAMES AS

# **08 14 16 FLUSH WOOD DOORS**

- A. INSTALL DOORS TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND THE REFERENCED QUALITY STANDARD, AND AS INDICATED
- B. ALIGN IN FRAMES FOR UNIFORM CLEARANCE AT EACH EDGE.
- C. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL DOORS AS INDICATED ON THE

- A. HOLLOW METAL FRAMES: COMPLY WITH ANSI/SDI A250.11.
- ANCHORS ARE SET. AFTER WALL CONSTRUCTION IS COMPLETE, REMOVE TEMPORARY BRACES, LEAVING SURFACES SMOOTH AND UNDAMAGED.
- TO ACHIEVE CLEARANCES INDICATED.
- C. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL DOORS AND FRAMES AS

# **08 41 13 ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS**

- 1. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 4. RIGIDLY SECURE NONMOVEMENT JOINTS. 5. INSTALL ANCHORS WITH SEPARATORS AND ISOLATORS TO PREVENT METAL CORROSION AND ELECTROLYTIC
- DETERIORATION. 6. SEAL JOINTS WATERTIGHT UNLESS OTHERWISE INDICATED.
- B. INSTALL COMPONENTS TO DRAIN WATER PASSING JOINTS, CONDENSATION OCCURRING WITHIN FRAMING MEMBERS,
- C. INSTALL COMPONENTS PLUMB AND TRUE IN ALIGNMENT WITH ESTABLISHED LINES AND GRADES, AND WITHOUT
- D. ENTRANCE DOORS: INSTALL DOORS TO PRODUCE SMOOTH OPERATION AND TIGHT FIT AT CONTACT POINTS.
- E. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL ENTRANCES AND STOREFRONTS AS INDICATED ON THE PLANS.

# **08 71 00 HARDWARE**

- A. REQUIREMENTS:
- 1. ALL LOCKSETS SHALL BE LEVER TYPE AS REQUIRED TO MEET REQUIREMENTS OF A.D.A.
- 2. ALL OTHER HARDWARE SHALL CONFORM TO THE REQUIREMENTS OF A.D.A. 3. ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER TYPE OR PANIC TYPE EXIT HARDWARE OPENABLE FROM THE
- INSIDE WITHOUT THE USE OF A LATCH, KEY OR BOLT. 4. CONTRACTOR TO COORDINATE KEYING SCHEDULE WITH OWNER.
- B. MOUNTING HEIGHTS: MOUNT DOOR HARDWARE UNITS AT HEIGHTS REQUIRED TO COMPLY WITH GOVERNING
- C. INSTALL EACH DOOR HARDWARE ITEM TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- D. THRESHOLDS: SET THRESHOLDS FOR EXTERIOR AND ACOUSTICAL DOORS IN FULL BED OF SEALANT. ADJUSTMENT: ADJUST AND CHECK EACH OPERATING ITEM OF DOOR HARDWARE AND EACH DOOR TO ENSURE PROPER OPERATION OR FUNCTION OF EVERY UNIT. REPLACE UNITS THAT CANNOT BE ADJUSTED TO OPERATE AS INTENDED. ADJUST DOOR CONTROL DEVICES TO COMPENSATE FOR FINAL OPERATION OF HEATING AND
- VENTILATING EQUIPMENT AND TO COMPLY WITH REFERENCED ACCESSIBILITY REQUIREMENTS. F. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL HARDWARE AS INDICATED ON

# **08 80 00 GLAZING**

- A. COMPLY WITH COMBINED WRITTEN INSTRUCTIONS OF MANUFACTURERS OF GLASS, SEALANTS, GASKETS, AND OTHER GLAZING MATERIALS, UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED, INCLUDING THOSE IN REFERENCED
- B. PROTECT GLASS EDGES FROM DAMAGE DURING HANDLING AND INSTALLATION. REMOVE DAMAGED GLASS FROM PROJECT SITE AND LEGALLY DISPOSE OF OFF PROJECT SITE. DAMAGED GLASS IS GLASS WITH EDGE DAMAGE OR OTHER IMPERFECTIONS THAT, WHEN INSTALLED, COULD WEAKEN GLASS AND IMPAIR PERFORMANCE AND
- C. PROVIDE SAFETY GLASS IN ALL GLAZING AS LISTED BELOW UNLESS NOTED OTHERWISE: 1. WHERE REQUIRED BY FEDERAL, STATE AND LOCAL CODES.
- D. SAFETY GLASS REQUIREMENTS: 1. SAFETY GLASS SHALL BE, BUT NOT LIMITED TO
  - a. TEMPERED GLASS
  - b. LAMINATED GLASS
- d. SAFETY INSULATING UNITS WHICH MEET THE TEST REQUIREMENTS OF ANSI Z97.1, AND WHICH ARE CONSTRUCTED, TREATED, OR COMBINED WITH OTHER MATERIALS SO AS TO MINIMIZE THE LIKELIHOOD OF
- CUTTING AND PIERCING INJURIES RESULTING FROM HUMAN IMPACT WITH THE GLAZING MATERIAL. 2. ALL SAFETY GLAZING MATERIAL SHALL BE LABELED PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- E. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL THE GLAZING AS INDICATED ON THE

# **DIVISION 09 FINISHES**

# **09 01 00 FINISHES**

- A. REQUIREMENTS:
- PROVIDE AND INSTALL ALL FINISHES AS INDICATED ON PLANS.
- 2. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- 3. "FINISH" INSTALLER INSPECT SUBSURFACE AND PREPARE AS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF PRODUCT.
- 4. ALL FINISHES TO MEET ALL CODE REQUIREMENTS AND REGULATIONS INCLUDING FLAME SPREAD AND SMOKE

1. PROVIDE NEW, EXTRA MATERIAL OF EACH FINISH TYPE AND COLOR TO BE TURNED OVER TO OWNER AT JOB

- COMPLETION FOR THE FOLLOWING ITEMS: a. PAINT: PROVIDE 1 GALLON FOR FIELD COLORS AND 1 QUART FOR ACCENT COLORS APPLIED. b. RESILIENT TILE FLOORING: PROVIDE 1 BOX FOR EVERY 50 BOXES OR FRACTION THEREOF INSTALLED. FURNISH
- MINIMUM 10 LINEAR FEET FOR EACH 500 LINEAR FEET OR FRACTION THEREOF OF EACH TYPE OF RESLIENT c. ACOUSTICAL CEILING TILE: PROVIDE FULL-SIZE UNITS EQUAL TO 2% OF QUANTITY INSTALLED, BUT NOT LESS
- THAN 1 BOX OF EACH TYPE OF CEILING TILE SUPPLIED. d. WOOD FLOORING: PROVIDE FULL-SIZE UNITS EQUAL TO 3% OF QUANTITY INSTALLED, BUT NOT LESS THAN 50
- e. LAMINATE FLOORING: PROVIDE FULL-SIZE UNITS EQUAL TO 3% OF QUANTITY INSTALLED, BUT NOT LESS THAN f. RESILIENT SHEET FLOORING: PROVIDE NOT LESS THAN 10 LINEAR FEET FOR EACH 500 LINEAR FEET OR
- FRACTION THEREOF INSTALLED. g. WALL COVERING MATERIAL: PROVIDE FULL-SIZE UNITS EQUAL TO 5 PERCENT INSTALLED.
- h. TILE CARPET: PROVIDE FULL-SIZE UNITS EQUAL TO 5 PERCENT OF THE AMOUNT INSTALLED, BUT NOT LESS i. SHEET CARPET: PROVIDE FULL-WIDTH ROLLS EQUAL TO 5 PERCENT OF THE AMOUNT INSTALLED, BUT NOT

# j. CERAMIC, QUARRY AND PORCELAIN TILE: PROVIDE FULL-SIZE UNITS EQUAL TO 3% OF QUANTITY INSTALLED,

# 1. STUDS SHALL BE SECURED TO TOP AND BOTTOM TRACK WITH (1) #8ML SCREW IN EACH FLANGE (UNLESS A SLIP TRACK IS REQUIRED AT THE TOP OF THE WALL)

- 2. PROVIDE SLIP TRACK AT TOP OF FULL HEIGHT PARTITIONS 3. STUDS SHALL BE INSTALLED PER "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY LATEST EDITION.
- 4. DRYWALL STUDS SHALL BE ACCORDING TO THE LIST BELOW OR AS INDICATED ON THE PLANS (THESE HEIGHTS ARE BASED ON THE STUDS HAVING (1) LAYER OF DRYWALL EACH FACE). 5. STUD SIZE — GAUGE — LIMITING HEIGHT WITH STUD SPACING a. 3 5/8" — 25 GA. — 13'-6" AT 16" O.C. — 11'-9" AT 24" O.C.

- b. 3 5/8" 22 GA. 15'-3" AT 16" O.C. 13'-4" AT 24" O.C.
- c. 3 5/8" 20 GA. 15'-11" AT 16" O.C. 13'-11" AT 24" O.C.
- d. 6" 25 GA. 20'-0" AT 16" O.C. 17'-6" AT 24" O.C.
- e. 6" 22 GA. 22'-9" AT 16" O.C. 19'-11" AT 24" O.C. f. 6" — 20 GA. — 23'-9" AT 16" O.C. — 20'-9" AT 24" O.C.

# 09 29 00 GYPSUM BOARD (GYP)

- A. DRYWALL SHALL BE INSTALLED PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" GA-216 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. 1. PROVIDE CONTROL JOINTS PER THESE REQUIREMENTS.
- B. COMPLY WITH ASTM C36 OR ASTM C 1396 AS APPLICABLE TO THE TYPE OF GYPSUM BOARD INDICATED. C. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURES OFFERING PRODUCTS THAT MAY BE
- INCORPORATED INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- 1. AMERICAN GYPSUM CO. BPB AMERICAN INC.

AREAS PROVIDE

- G-P GYPSUM LAFARGE NORTH AMERICA INC.
- NATIONAL GYPSUM COMPANY
- 6. USG CORPORATION D. AT ALL TOILET ROOMS, LOCKERS ROOMS, COOLER/FREEZER ROOMS, UNDER FRP PANELS OR OTHER DAMP/WET
- 1. GOLD BOND XP GYPSUM BOARD BY NATIONAL GYPSUM OR EQUAL. E. UNDER CERAMIC AND PORCELAIN TILE IN TOILET ROOMS, LOCKER ROOMS OR OTHER DAMP/WET LOCATIONS
- 1. FIBEROCK AQUA-TOUGH TILE BACKER BOARD BY USG CORPORATION OR EQUAL. F. UNDER CERAMIC AND PORCELAIN TILE IN SHOWERS, TUBS, KITCHEN WASH DOWN AREAS OR OTHER HIGH-MOISTURE
- 1. DUROCK CEMENT BOARD BY USG CORPORATION OR EQUAL G. DRYWALL FINISHES SHALL BE INSTALLED PER THE LATEST EDITION OF "RECOMMENDED LEVELS OF GYPSUM BOARD FINISH" GA-214 AS PUBLISHED BY THE AWCI, PAINTING AND DECORATING CONTRACTORS OF AMERICA, GYPSUM ASSOCIATION AND CISCA.
- H. LEVELS OF FINISH:
- SEE PLANS FOR FINISH LOCATIONS.
- 2. LEVEL 0 NO TAPING, FINISHING OR ACCESSORIES REQUIRED. 3. LEVEL 1 — JOINTS AND INTERIOR ANGLES HAVE TAPE SET IN JOINT COMPOUND; SURFACE IS FREE OF EXCESS JOINT COMPOUND; TOOL MARKS AND RIDGES ARE ACCEPTABLE; TAPE AND FASTENERS ARE NOT COVERED WITH
- 4. LEVEL 2 JOINTS AND INTERIOR ANGLES HAVE TAPE EMBEDDED IN JOINT COMPOUND AND HAVE A THIN COAT OF JOINT COMPOUND OVER JOINTS AND INTERIOR ANGLES; FASTENER HEADS AND ACCESSORIES ARE COVERED WITH JOINT COMPOUND; SURFACE IS FREE OF EXCESS JOINT COMPOUND; TOOL MARKS AND RIDGES ARE
- 5. LEVEL 3 JOINTS AND INTERIOR ANGLES HAVE TAPE EMBEDDED IN JOINT COMPOUND AND ONE ADDITIONAL COAT OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES; FASTENER HEADS AND ACCESSORIES COVERED WITH TWO (2) COATS OF JOINT COMPOUND; NO TOOL MARKS OR RIDGES
- 6. LEVEL 4 JOINTS AND INTERIOR ANGLES HAVE TAPE EMBEDDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT APPLIED OVER INTERIOR ANGLES; FASTENER HEADS AND ACCESSORIES ARE COVERED WITH THREE (3) SEPARATE COATS OF JOINT
- COMPOUND; NO TOOL MARKS OR RIDGES. 7. LEVEL 5 — IN ADDITION TO REQUIREMENTS OF LEVEL 4, A THIN SKIM COAT OF JOINT COMPOUND OR EQUAL

# SHALL BE APPLIED TO THE ENTIRE SURFACE: NO TOOL MARKS OR RIDGES ON THIS SURFACE. 09 30 00 PORCELAIN TILE (PT) (PWT) / CERAMIC TILE (CT) (CWT) / QUARRY TILE (QT) /

- A. COMPLY WITH TCNA "HANDBOOK FOR CERAMIC TILE INSTALLATION" FOR TCNA INSTALLATION METHODS SPECIFIED
- B. LOCATE JOINTS IN TILE SURFACE DIRECTLY ABOVE JOINTS IN CONCRETE SUBSTRATES. BRIDGE CRACKS OR JOINTS IN
- C. PROVIDE MANUFACTURER'S STANDARD TILE AS SPECIFIED COMPLYING WITH STANDARD GRADE REQUIREMENTS OF ANSI A137.1 STATIC COEFFICIENT OF FRICTION TO BE 0.60 MIN AND A DYNAMIC COEFFICIENT OF FRICTION OF 0.42
- D. PROVIDE COLORED CEMENTITIOUS GROUT AT ALL INTERIOR TILE SURFACES -COLOR TO BE SELECTED BY
- F. ACCURATELY FORM INTERSECTIONS AND RETURNS. PERFORM CUTTING AND DRILLING OF TILE WITHOUT MARRING VISIBLE SURFACES. CAREFULLY GRIND CUT EDGES OF TILE ABUTTING TRIM, FINISH OR BUILT-IN ITEMS FOR STRAIGHT ALIGNED JOINTS. FIT TILE CLOSELY TO ELECTRICAL OUTLETS, PIPING, FIXTURES AND OTHER PENETRATIONS SO PLATES, COLLARS OR COVERS OVERLAP TILE.
- G. JOINTING PATTERN: LAY TILE IN GRID PATTERN UNLESS OTHERWISE INDICATED. LAY OUT TILE WORK AND CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA. LAY OUT TILE WORK TO MINIMIZE THE USE

### THAT FINISHES FLUSH WITH OR BELOW TOP OF TILE AND NO THRESHOLD IS INDICATED.SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION.

- 1. PROVIDE MANUFACTURER'S STANDARD CEILING TILE AS SCHEDULED COMPLYING WITH ASTM 1264
- 3. PROVIDE HOLD-DOWN CLIPS AT ENTRY VESTIBULE(S) AND FOR FIRST 12' OF CORRIDOR(S) IN FRONT OF EACH
- 5. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. 1. COMPLY WITH ASTM C636 (STANDARD PRACTICE FOR INSTALLATION OF METAL CEILING SUSPENSION SYSTEMS
- CISCA'S "CEILING SYSTEMS HANDBOOK". 2. SUSPEND CEILING HANGERS FROM BUILDING'S STRUCTURAL MEMBERS, PLUMB AND FREE FROM CONTACT WITH INSULATION OR OTHER OBJECTS WITHIN CEILING PLENUM. SPLAY HANGERS ONLY WHERE REQUIRED AND, IF PERMITTED WITH FIRE-RESISTANCE-RATED CEILINGS, TO MISS OBSTRUCTIONS, OFFSET RESULTING HORIZONTAL FORCES BY BRACING, COUNTER SPLAYING, OR OTHER EQUALLY EFFECTIVE MEANS. WHERE WIDTH OF DUCTS AND OTHER CONSTRUCTION WITHIN CEILING PLENUM PRODUCES HANGER SPACING THAT INTERFERE WITH LOCATION OF HANGERS, USE TRAPEZES OR EQUIVALENT DEVICES. WHEN STEEL FRAMING DOES NOT PERMIT INSTALLATION
- OF HANGER WIRES AT SPACING REQUIRED, INSTALL CARRYING CHANNELS OR OTHER SUPPLEMENTAL SUPPORT FOR ATTACHMENT OF HANGER WIRES.
- 3. WIRE HANGERS TO BE ZINC-COATED CARBON STEEL WIRE COMPLYING WITH ASTM A641 STANDARDS, SIZED TO WITHSTAND 5X THE HANGER DESIGN LOAD BUT NOT LESS THAN 0.106" IN DIAMETER. 4. INSTALL EDGE MOLDINGS AND TRIM AT PERIMETER OF ACOUSTICAL CEILING AREA AND WHERE NECESSARY TO
- CONCEAL EDGES OF ACOUSTICAL PANELS. SCREW ATTACH MOLDINGS TO SUBSTRATE, LEVELING WITH CEILING SUSPENSION SYSTEM. MITER CORNERS ACCURATELY AND CONNECT SECURELY 5. INSTALL SUSPENSION SYSTEM RUNNERS SO THEY ARE SQUARE AND SECURELY INTERLOCKED WITH ONE
- ANOTHER. REMOVE AND REPLACE DENTED, BENT, OR KINKED MEMBERS. SUSPENSION SYSTEM AS REQUIRED FOR THE SPECIFIED TILE-INTERMEDIATE DUTY CLASSIFICATION.

- A. PROVIDE MANUFACTURES STANDARD VINYL BASE AS SPECIFIED THAT COMPLIES WITH ASTM F1861 TYPE TV. B. PROVIDE MANUFACTURES STANDARD VINYL ACCESSORIES AS SPECIFIED THAT COMPLIES WITH ASTM F2169 TYPE TV.
- C. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLING RESILIENT BASE AND ACCESSORIES. D. PREPARE SUBSTRATES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS TO ENSURE ADHESION OF BASE
- F. INSTALL RESILIENT BASE IN LENGTHS AS LONG AS PRACTICAL WITHOUT GAPS AT SEAMS AND WITH TOPS OF

E. APPLY RESILIENT BASE TO WALLS, COLUMNS, PILASTERS, CASEWORK AND CABINETS IN TOE SPACES AND OTHER

- OR ACCESSORY IN CONTINUOUS CONTACT WITH HORIZONTAL AND VERTICAL SUBSTRATES. H. DO NOT STRETCH RESILIENT BASE DURING INSTALLATION. I. ON MASONRY SURFACES OR OTHER SIMILAR IRREGULARS SUBSTRATES, FILL VOIDS ALONG TOP EDGE OF RESILIENT BASE WITH MANUFACTURER'S RECOMMENDED ADHESIVE FILLER MATERIAL.
- 09 66 31 RESINOUS FLOORING EPOXY (EPX)

J. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION.

- B. PREPARE CONCRETE FLOOR BY MECHANICAL MEANS BY USE OF SCABBLER, SCARIFIER OR SHOT BLASTING. KEY CHASE ALL EDGES WHICH DO NOT ABUT A VERTICAL SURFACE (I.E. DOOR THRESHHOLDS AND DRAINS).
- C. HEAT WORK AREA TO 65 TO 90 DEG F FOR A MINIMUM 3 DAYS PRIOR TO AND 2 DAYS AFTER INSTALLATION.
- D. PERFORM A MOISTURE TEST ON THE CONCRETE SLAB TO CONFIRM CONDITIONS MEET MFR'S REQUIREMENTS PRIOR E. INSTALL TWO COMPONENT EPOXY PRIMER, THREE COMPONENT MORTAR CONSISTING OF EPOXY RESIN, CURING
- AGENTS AND GRADED AGGREGATES AND A TWO COMPOINENT 100% SOLIDS GENERAL SURFACE EPOXY COATING WITH TEXTURE AS SELECTED BY OWNER.
- F. CUT IN EXPANSION AND CONTROL JOINTS IN EPOXY AT SAME LOCATION AS CONCRETE FLOOR JOINTS. FILL WITH FLEXIBLE POLYURETHANE SEALANT.
- G. SUBMIT COLOR AND TEXTURE SAMPLES AND MANUFACTURER'S TECHNICAL DATA FOR APPROVAL (MATCH EXISTING FINISH AND COLOR). OBTAIN ALL MATERIALS FROM A SINGLE MANUFACTURER WITH NOT LESS THAN 10 YEARS OF EXPERIENCE. THE CONTRACTOR SHALL HAVE COMPLETED AT LEAST 5 PROJECTS OF SIMILAR SIZE IN PRIOR 2 YEARS. H. FURNISH A NON-PRORATED WARRANTY COVERING MATERIALS AND WORKMANSHIP FOR A 2 YEAR PERIOD FROM
- DATE OF INSTALLATION.
- 1. MATCH PREPARATION, MATERIALS, AND CONSTRUCTION OF FLOOR SYSTEM.

L. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION.

PREPARATION, PAINTING, FINISHING AND RELATED ITEMS.

GALVANIZED METAL

- 09 72 00 VINYL WALL COVERING (VWC) A. CLEAN SUBSTRATES OF SUBSTANCES THAT COULD IMPAIR BOND OF WALL COVERING, INCLUDING DIRT, OIL, GREASE,
- MOLD, MILDEW, AND INCOMPATIBLE PRIMERS. B. PREPARE SUBSTRATES TO ACHIEVE A SMOOTH, DRY, CLEAN, STRUCTURALLY SOUND SURFACE FREE OF FLAKING,
- UNSOUND COATINGS, CRACKS, AND DEFECTS. C. ACCLIMATIZE WALL-COVERING MATERIALS BY REMOVING THEM FROM PACKAGING IN THE INSTALLATION AREAS NOT
- LESS THAN 24 HOURS BEFORE INSTALLATION. D. CUT WALL-COVERING STRIPS IN ROLL NUMBER SEQUENCE. CHANGE ROLL NUMBERS AT PARTITION BREAKS AND
- E. INSTALL WALL COVERING WITH NO GAPS OR OVERLAPS, NO LIFTED OR CURLING EDGES, AND NO VISIBLE SHRINKAGE. F. MATCH PATTERN AT 72" ABOVE FINISHED FLOOR.
- G. EXTEND WALL COVERING A MINIMUM OF 6" BEHIND PERMANENT CASEWORK AND EQUIPMENT. EXTEND WALL COVERING A MIN. OF 6" BEHIND PERMANENT CASEWORK AND EQUIPMENT. H. INSTALL SEAMS VERTICAL AND PLUMB AT LEAST 6 INCHES (150 MM) FROM OUTSIDE CORNERS AND 3 INCHES (75 MM)
- FROM INSIDE CORNERS UNLESS A CHANGE OF PATTERN OR COLOR EXISTS AT CORNER. NO HORIZONTAL SEAMS ARE
- FULLY BOND WALL COVERING TO SUBSTRATE. REMOVE AIR BUBBLES, WRINKLES, BLISTERS, AND OTHER DEFECTS. REMOVE EXCESS ADHESIVE AT FINISHED SEAMS, PERIMETER EDGES, AND ADJACENT SURFACES. K. ADHESIVE TO BE MILDEW RESISTANT, NON-STAINING AS RECOMMENDED BY THE WALL COVERING MANUFACTURER.
- **09 91 00 PAINTING** A. FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND SCAFFOLDING REQUIRED FOR COMPLETING SURFACE
- B. SEAL TOPS, BOTTOMS AND CUTOUTS OF UNPRIMED WOOD DOORS WITH A HEAVY COAT OF SEALER IMMEDIATELY UPON DELIVERY TO THE PROJECT. C. PREPARATION 1. REMOVE AND/OR PROTECT ALL HARDWARE, HARDWARE ACCESSORIES, MACHINED SURFACES, PLATES, LIGHTING FIXTURES, SPRINKLER HEADS AND SIMILAR ITEMS THAT ARE NOT TO BE PAINTED, BUT REQUIRE PROTECTION FROM THE PAINTING PROCESS. RE-INSTALL SAME AFTER COMPLETION OF PAINTING. MASK OFF ALL
- NAMEPLATES, EQUIPMENT IDENTIFICATION AND SIMILAR ITEMS. REMOVAL AND REINSTALL OF ITEMS IS TO BE DONE BY CONTRACTOR SKILLED IN SUCH WORK. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PREPARATION OF ALL SURFACES PRIOR TO THE
- 3. REVIEW CLEANING SOLVENTS AND PROTOCOLS WITH COATING MANUFACTURER TO DETERMINE TEMPERATURE AND CHEMICAL RESISTANCE.
- b. Prepare all field welded locations per the requirements set forth in this section. c. VERIFY FINISH COAT COLORS WITH OWNER.
- a. CLEAN PER SSPC-SP-1 USING DETERGENT AND WATER OR A DEGREASING CLEANER TO REMOVE GREASES AND b. APPLY A TEST AREA, PRIMING AS REQUIRED. ALLOW THE COATING TO DRY AT LEAST ONE WEEK BEFORE
- c. IF ADHESION IS POOR, BRUSH BLAST PER SSPC-SP16 IS NECESSARY TO REMOVE THESE TREATMENTS. D. CONTRACTOR TO VERIFY THAT PAINT IS COMPATIBLE WITH PRIMER OF SHOP PRIMED SURFACES. NOTIFY EXCEL
- ENGINEERING IF THERE ARE ANY COMPATIBILITY ISSUES. ALL PAINT COLORS. STAIN COLORS, AND VARNISH TO BE SELECTED BY ARCHITECT/OWNER FROM A FULL RANGE OF

a. PREPARE UNPRIMED STEEL TO SSPC-SP-2 OR 3 (HAND OR POWER TOOL CLEANING).

- AVAILABLE COLORS UNLESS NOTED OTHERWISE. F. THE FINISH PRODUCT SHALL HAVE A CONSISTENT, SMOOTH APPEARANCE OF THE SPECIFIED LUSTER.
- G. APPLY PAINT PER MANUFACTURER'S TEMPERATURE AND HUMIDITY REQUIREMENTS. H. COMPLETED WORK SHALL BE FREE FROM DEFECTS AND FLAWS. I. THE CONTRACTOR SHALL KEEP EMPTY CONTAINERS ON THE PROJECT SITE UNTIL ALL PRODUCTS ARE VERIFIED AS TO COLOR AND/OR SHEEN. THE CONTRACTOR SHALL LEAVE WITH THE OWNER ALL OPENED PAINT CONTAINERS.
- DISPOSE OF EXCESS MATERIALS, CONTAINERS AND OTHER ITEMS NECESSARY FOR THE COMPLETION OF THE WORK IN A MANNER THAT MEETS OR EXCEEDS THE STRICTEST LAWS GOVERNING THE PROJECT'S MUNICIPALITY AND/OR STATE. THE PAINTING CONTRACTOR IS RESPONSIBLE FOR COMPLETE ADHERENCE TO ALL DISPOSAL REGULATIONS. 1. UPON CONCLUSION OF THE PROJECT, THE CONTRACTOR OR PAINT MANUFACTURER/SUPPLIER SHALL FURNISH A COATING MAINTENANCE MANUAL, SUCH AS SHERWIN WILLIAMS "CUSTODIAN PROJECT COLOR AND PRODUCT INFORMATION" REPORT OR EQUAL. MANUAL SHALL INCLUDE AN AREA SUMMARY WITH FINISH SCHEDULE, AREA
- DETAIL DESIGNATING WHERE EACH PRODUCT/COLOR/FINISH WAS USED, PRODUCT DATA PAGES, MATERIAL SAFETY DATA SHEETS, CARE AND CLEANING INSTRUCTIONS, TOUCH-UP PROCEDURES, AND COLOR SAMPLES OF EACH COLOR AND FINISH USED. L. EXPOSED MECHANICAL PIPING SYSTEM SHALL BE PAINTED PER APPROPRIATE METAL TYPE SPECIFICATION AND AS
- 2. FIRE PROTECTION RED (GALVANIZED AND STAINLESS STEEL PIPE AND FITTINGS SHALL NOT BE PAINTED). M. PAINT VENT THRU ROOFS ON PITCHED ROOF SAME COLOR AS ROOFING MATERIAL.
- N. PAINT ALL EXPOSED MISCELLANEOUS ITEMS, FINISHED OR UNFINISHED (INCLUDING H.V.A.C. RETURN AIR GRILLES, CONDUIT, ETC.) TO MATCH ADJOINING WALL SURFACES. O. PAINT CEILING ACCESS PANELS TO MATCH ADJACENT CEILING FINISH.
- P. PROVIDE A YELLOW STRIPED AREA, 3' DEEP BY THE WIDTH OF THE ELECTRICAL PANELS, ON THE CONCRETE FLOOR IN FRONT OF THE ELECTRICAL PANELS AND SWITCHGEAR. AT THE SWITCHGEAR, PAINT THE EXPOSED PORTION OF THE CONCRETE HOUSEKEEPING PAD YELLOW. Q. ALL EXPOSED EXTERIOR & INTERIOR METAL SURFACES SHALL BE PAINTED, U.N.O.
- a. ACRYLIC MISCELLANEOUS IRON, EXPOSED ROOF PIPING, ETC.: i. PRIMER: SEE SHOP APPLIED COATING SCHEDULE ON STRUCTURAL DRAWINGS FOR PRIMER. FOR SPOT

OTHERWISE. PROTECT ALL SUCH SYSTEM DURING THE PAINTING PROCESSES WITHIN THE ROOMS.

R. ALL EXPOSED MISCELLANEOUS ITEM IN FOOD PROCESS ROOMS SHALL REMAIN UNPAINTED UNLESS NOTED

UNIVERSAL METAL PRIMER B50 SERIES ii. 2 COATS S-W PRO INDUSTRIAL ACRYLIC SEMI GLOSS, B66-650 @ 2.5-4.0 MILS DFT/COAT. 2. GALVANIZED, ALUMINUM, ZINC-COATED AND NON-FERROUS METALS:

PRIMING AND FERROUS METALS WITHOUT SHOP APPLIED PRIMER, APPLY 1 COAT S-W KEM BOND HS

i. PRIMER: APPLY 1 COAT S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, B66-1310 SERIES, @ 2.0-4.0

- ii. 2 COATS S-W PRO INDUSTRIAL ACRYLIC SEMI GLOSS, B66-650 @ 2.5-4.0 MILS DFT/COAT.
- GYPSUM DRYWALL (PA): a. ACRYLIC EG-SHEL i. 1 COAT S-W PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER B28W2600 @ 1.0 MILS DFT.
- ii. 2 COATS S-W PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL B20-2600 @ 1.7 MILS DFT/COAT. i. 1 COAT S-W PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER B28W2600 @ 1.2-1.5 MILS DFT. ii. 2 COATS S-W PROMAR 200 ZERO VOC INTERIOR LATEX FLAT B30-2600 @ 1.4 MILS DFT/COAT.
- i. 1 COAT S-W PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER B28W2600 @ 1.2-1.5 MILS DFT. ii. 2 COATS S-W PROMAR 200 ZERO VOC INTERIOR LATEX SEMI-GLOSS B31-2600 @ 1.5 MILS DFT/COAT.
- ii. 2 COAT S-W MINWAX WATERBASED OIL MODIFIED POLYURETHANE: SATIN/SEMI-GLOSS/GLOSS. b. PAINTED ACRYLIC SEMI-GLOSS i. 1 COAT S-W PREMIUM WALL AND WOOD PRIMER B28W8111 @ 1.8-2.1 MILS DFT. ii. 2 COATS S-W PRO INDUSTRIAL ACRYLIC SEMI GLOSS B66-660 @ 2.5-4.0 MILS DFT/COAT

i. 1 COAT S-W MINWAX PERFORMANCE SERIES TINTABLE WOOD STAIN 250.

a. DOORS, FRAMES, HANDRAILS, MISC. METALS, ETC., (PRIMER, BRUSH/ROLLER) i. ACRYLIC: STANDARD:

**SHEET DATES ISSUED FOR CONSTRUCTION** MAR. 6, 2025

**JOB NUMBER** 240300000

SHEET NUMBER

**ARCHITECTURAL SPECIFICATIONS** 

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100 Camelot Drive

Fond du Lac, WI 54935

920-926-9800

excelengineer.com

**PROJECT INFORMATION** 

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**PROFESSIONAL SEAL** 

09 22 16 DRYWALL STUDS (INTERIOR NON-BEARING)

1. INSTALL FIRE-RATED DOORS IN CORRESPONDING FIRE-RATED FRAMES ACCORDING TO NFPA 80.

**08 15 10 PLASTIC LAMINATE FACED DOORS** 

1. SET FRAMES ACCURATELY IN POSITION, PLUMBED, ALIGNED, AND BRACED SECURELY UNTIL PERMANENT

2. AT FIRE-PROTECTION-RATED OPENINGS, INSTALL FRAMES ACCORDING TO NFPA 80. B. PLASTIC LAMINATE FACED DOORS: FIT DOORS ACCURATELY IN FRAMES, WITHIN CLEARANCES. SHIM AS NECESSARY

1. FIRE-RATED DOORS: INSTALL DOORS WITH CLEARANCES ACCORDING TO NFPA 80. 2. SMOKE-CONTROL DOORS: INSTALL DOORS ACCORDING TO NFPA 105.

2. DO NOT INSTALL DAMAGED COMPONENTS. 3. FIT JOINTS TO PRODUCE HAIRLINE JOINTS FREE OF BURRS AND DISTORTION.

AND MOISTURE MIGRATING WITHIN THE SYSTEM TO EXTERIOR.

- CONCRETE SLABS WITH 'NOBLESEAL CIS' COMPOSITE SHEET MEMBRANE. INSTALL JOINT BRIDGING MATERIAL PER MFR
- E. EXTEND TILE WORK INTO RECESSES AND UNDER OR BEHIND EQUIPMENT AND FIXTURES TO FORM COMPLETE COVERING WITHOUT INTERRUPTIONS UNLESS OTHERWISE INDICATED. TERMINATE WORK NEATLY AT OBSTRUCTIONS, EDGES AND CORNERS WITHOUT DISRUPTING PATTERN OR JOINT ALIGNMENTS.
- OF PIECES THAT ARE LESS THAN HALF OF A TILE. PROVIDE UNIFORM JOINT WIDTHS UNLESS OTHERWISE INDICATED. TILE BASE TO LINE UP WITH FLOOR TILE JOINTS. H. METAL EDGE STRIPS: INSTALL WHERE EXPOSED EDGE OF TILE FLOORING MEETS CARPET, WOOD OR OTHER FLOORING
- 09 51 13 ACOUSTICAL CEILINGS (ACT/ VCGB)
  - 2. INSTALL PANELS WITH UNDAMAGED EDGES AND FIT ACCURATELY INTO SUSPENSION SYSTEM RUNNERS AND EDGE MOLDINGS. SCRIBE AND CUT PANELS AT BORDERS AND PENETRATIONS TO PROVIDE A NEAT, PRECISE FIT.
- 4. PROVIDE APPROVED FIRE RATED GRID SYSTEM FOR FIRE RATED CEILINGS.
- FOR ACOUSTICAL TILE AND LAY-IN PANELS), ASTM C635 (STANDARD SPECIFICATION FOR THE MANUFACTURE, PERFORMANCE AND TESTING OF METAL SUSPENSION SYSTEMS FOR ACOUSTICAL TILE AND LAY-IN PANEL CEILINGS) AND SEISMIC DESIGN REQUIREMENTS INDICATED, PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND
- 6. PROVIDE CORROSION RESISTANT GRID IN SHOWER AND EXTREME ENVIRONMENT AREAS. 09 65 13 VINYL COVE BASE AND ACCESSORIES (VB)
- PERMANENT FIXTURES IN ROOMS AND AREAS WHERE BASE IS SPECIFIED. G. TIGHTLY ADHERE RESILIENT BASE OR ACCESSORY TO SUBSTRATE THROUGHOUT LENGTH OF EACH PIECE, WITH BASE

A. 1/4" EPOXY FLOORING.

# **ARCHITECTURAL SPECIFICATIONS (CONT)**

- (A). PRIMER: SEE SHOP APPLIED COATING SCHEDULE ON STRUCTURAL DRAWINGS FOR PRIMER. FOR SPOT PRIMING AND FERROUS METALS WITHOUT SHOP APPLIED PRIMER, APPLY 1 COAT S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER B66-1310 @ 2.0-4.0 MILS DFT. (B). 2 COATS S-W PRO INDUSTRIAL ACRYLIC SEMI GLOSS B-66-650 @ 2.5 — 4 MILS DFT/COAT. ii. ALKYD (WATERBASED URETHANE MODIFIED ALKYD): HIGH TRAFFIC AREA (A). PRIMER: SEE SHOP APPLIED COATING SCHEDULE ON STRUCTURAL DRAWINGS FOR PRIMER: FOR SPOT PRIMING AND FERROUS METALS WITHOUT SHOP APPLIED PRIMER, APPLY 1 COAT S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER B66-1310 @ 2.0-4.0 MILS DFT. (B). 2 COATS S-W PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL SEMI GLOSS B53-1150 @ b. EXPOSED STRUCTURAL STEEL AND EXPOSED MECHANICAL/ELECTRICAL ITEMS: i. ACRYLIC (PA-DRY): (NON CORROSIVE, NON MOISTURE) NORMAL EXPOSURE (A). PRIMER: SEE SHOP APPLIED COATING SCHEDULE ON STRUCTURAL DRAWINGS FOR PRIMER. FOR SPOT PRIMING AND FERROUS METALS WITHOUT SHOP APPLIED PRIMER, APPLY 1 COAT S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER b66-1310 @ 2.0-4.0 MILS DFT. (B). 2 COATS S-W PRO INDUSTRIAL WATERBORNE ACRYLIC DRY FALL, EG-SHEL, B42-82 @ 2.0-3.0 MILS DFT. (1). CONTRACTOR SHALL MAINTAIN A DAILY LOG OF TEMPERATURE AND RELATIVE HUMIDITY. (2). AMBIENT TEMPERATURE AND SUBSTRATE TEMPERATURE SHALL BE 50 DEGREES F TO 110 DEGREES (3). RELATIVE HUMIDITY SHALL NOT EXCEED 75%. (A). PRIMER: SEE SHOP APPLIED COATING SCHEDULE ON STRUCTURAL DRAWINGS FOR PRIMER. FOR SPOT PRIMING AND FERROUS METALS WITHOUT SHOP APPLIED PRIMER, 1 COAT S-W KEM BOND HS UNIVERSAL METAL PRIMER B50 SERIES @ 2.0-5.0 MILS DFT.
- (B). 2 COATS S-W PRO INDUSTRIAL WATER BASED ALKYD URETHANE ENAMEL SEMI GLOSS B53-1150 AT 1.4-1.7 MILS DFT/COAT.

  4. ALUMINUM, ZINC-COATED AND NON FERROUS METALS: (NON MOISTURE, NON WASHDOWN AREAS)
- a. ACRYLIC
   i. PRIMER: SEE SHOP APPLIED COATING SCHEDULE ON STRUCTURAL DRAWINGS FOR PRIMER. FOR SPOT PRIMING WITHOUT SHOP APPLIED PRIMER, 1 COAT S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER
- B66-1310 @ 2.0 4.0 MILS DFT.

  ii. 2 COATS S-W PRO INDUSTRIAL SEMI GLOSS B66-650 @ 2.5-4.0 MILS DFT/COAT.

  ACRYLIC (PA-DRY):

  i. 2 COATS S-W PRO INDUSTRIAL WATERBORNE ACRYLIC DRY FALL, EG-SHEL, B42-82 @ 2.0-3.0 MILS D
- i. 2 COATS S-W PRO INDUSTRIAL WATERBORNE ACRYLIC DRY FALL, EG-SHEL, B42-82 @ 2.0-3.0 MILS DFT.
   (A). CONTRACTOR SHALL MAINTAIN A DAILY LOG OF TEMPERATURE AND RELATIVE HUMIDITY.
   (B). AMBIENT TEMPERATURE AND SUBSTRATE TEMPERATURE SHALL BE 50 DEGREES F TO 110 DEGREES F.
   (C). RELATIVE HUMIDITY SHALL NOT EXCEED 75%.

# **DIVISION 10 SPECIALTIES**

### **10 14 00 SIGNAGE**

- A. REOUIREMENT
- 1. CONTRACTOR TO FURNISH AND INSTALL SIGNAGE PER LOCAL, STATE, AND FEDERAL CODES AND PER ADDITIONAL DETAILS ON PLANS.
- 2. COORDINATE STYLE AND COLOR WITH OWNER UNLESS SPECIFICALLY INDICATED ON PLANS.
- 3. ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF THE A.D.A. AND ANSI.
- 4. WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE
- DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL.

  5. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN UNLESS INDICATED
- OTHERWISE.
- 6. PROVIDE HANDICAP PARKING SIGNS AS INDICATED ON PLANS AND AS REQUIRED BY LOCAL, STATE, AND FEDERAL CODES.

### **10 44 00 FIRE EXTINGUISHERS**

- A. REQUIREMEN
- FURNISH AND INSTALL EXTINGUISHERS PER LOCAL, STATE, AND FEDERAL CODES, AND N.F.P.A. NO.10-1978.
   MOUNT FIRE EXTINGUISHER NOT HIGHER THAN 48" ABOVE FINISH FLOOR UNLESS LOCAL REGULATIONS REQUIRE
- 2. MOUNT FIRE EXTINGUISHER NOT HIGHER THAN 48" ABOVE FINISH FLOOR UNLESS LOCAL REGULATIONS REQU DIFFERENT HEIGHT.
- 3. ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF THE A.D.A. AND ANSI A117.1.

# **DIVISION 22 PLUMBING**

# 22 05 00 PLUMBING WORK (DESIGN BY EXCEL)

A. SEE PLUMBING PLANS FOR SPECIFICATIONS

# DIVISION 23 HEATING AND VENTILATING AND AIR CONDITIONING

# 23 05 00 HEATING AND VENTILATION WORK (DESIGN BY EXCEL)

A. SEE HVAC PLANS FOR SPECIFICATIONS.

# **DIVISION 26 ELECTRICAL**26 05 00 ELECTRICAL WORK (DESIGN BY EXCEL)

A. SEE ELECTRICAL PLANS FOR SPECIFICATIONS.



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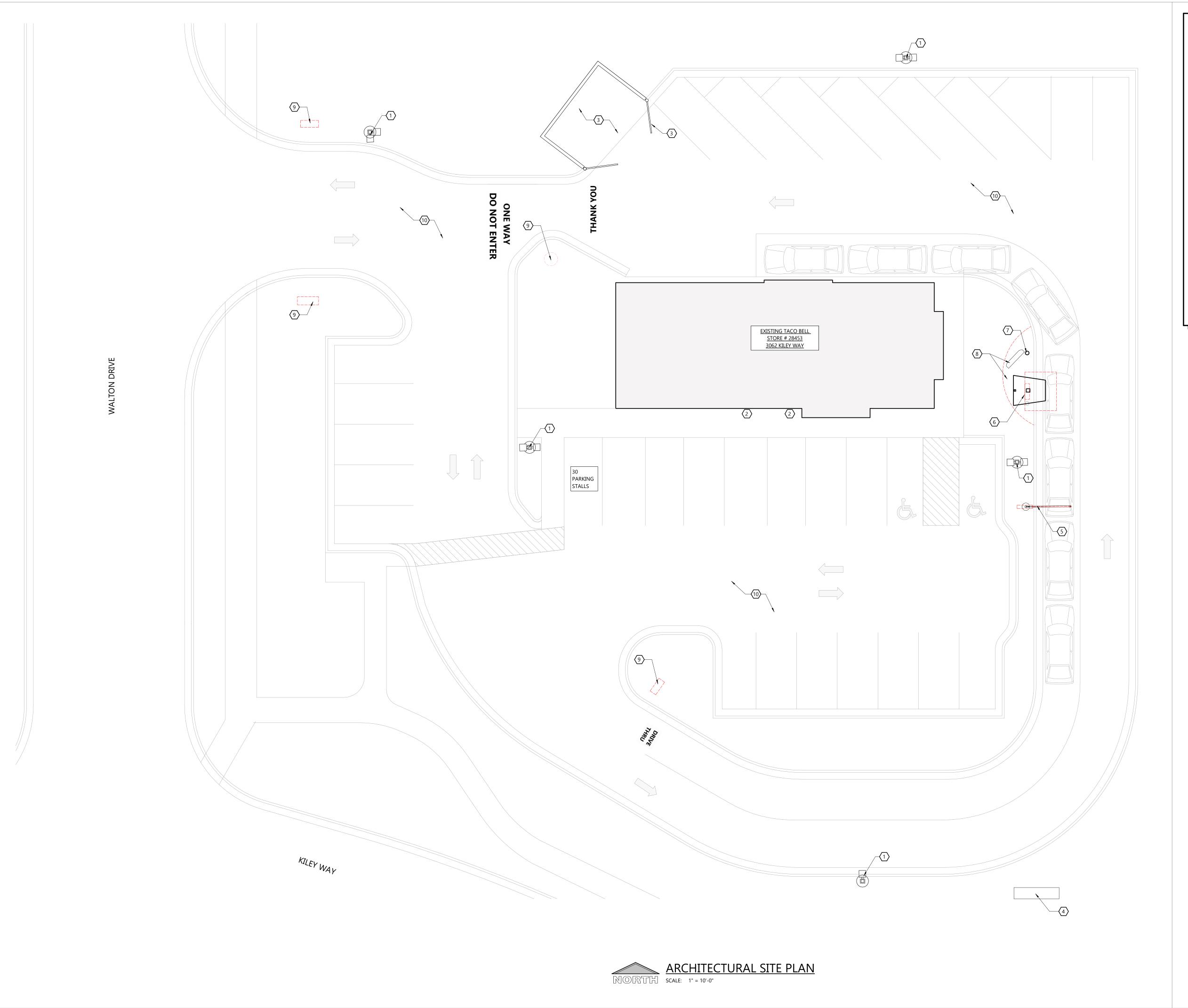
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IFC MAR. 6, 2025

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# ⊗ SITE PLAN KEYNOTES

DOORS AS NEEDED.

- 1. PREP, PRIME AND PAINT EXISTING LIGHT POLES TRICORN BLACK (SW6258). E.C. TO CONFIRM EXISTING LED LIGHTS ARE WORKING PROPERLY.
- 2. PROVIDE (2) MOBILE PICKUP PARKING SIGNS ON BUILDING.SEE DETAIL 1/AS2.0
- 3. EXISTING DUMPSTER ENCLOSURE TO REMAIN. CLEAN AS REQUIRED. PAINT INSIDE AND OUTSIDE WALLS WORLDLY GRAY (SW7043). PAINT ENCLOSURE GATES AND POSTS BRAINSTORM BRONZE (SW7033). REPAIR OR REPLACE
- 4. SIGN VENDOR TO REPLACE EXISTING PYLON/MONUMENT SIGN FACE AND UPDATE LIGHTING TO LED. PREP, PRIME AND PAINT ENCLOSURE AND POLE TRICORN BLACK (SW6258).
  SEE DETAIL 2/AS2.0
- 5. G.C. TO REMOVE EXISTING CLEARANCE BAR AND ASSOCIATED
   FOUNDATIONS. SIGN VENDOR TO INSTALL NEW CLEARANCE BAR. G.C. TO
   PROVIDE AND INSTALL NEW FOUNDATION AND BOLLARD.
   SEE DETAIL 4/AS2.0
- 6. G.C. TO REMOVE EXISTING ORDER POINT CANOPY, SPEAKER POST AND ASSOCIATED FOUNDATIONS. SIGN VENDOR TO INSTALL NEW ORDER POINT CANOPY AND SPEAKER POST. G.C. TO PROVIDE AND INSTALL NEW FOUNDATION AND ELECTRICAL.
  • SEE DETAIL 5/AS2.0
- 7. INSTALL NEW BOLLARD AT EXISTING MENU BOARD.SEE DETAIL 3/AS2.0
- 8. REMOVE EXISTING CONCRETE AROUND THE MENU BOARD AND CANOPY. EXISTING DIGITAL MENU BOARD TO REMAIN. REPAIR OR REFRESH LANDSCAPING AS NEEDED, BY OWNER LANDSCAPER.
- 9. REMOVE EXISTING DIRECTIONAL SIGNS AND ASSOCIATED FOUNDATIONS.
- 10. CRACK FILL AND SEAL COAT EXISTING ASPHALT PARKING LOT. PROVIDE NEW STRIPING TO MATCH EXISTING.



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100 Camelot Drive

PROJECT INFORMATION

MODEL FOR:

SUNDANCE

YMOUTH, WI 53073

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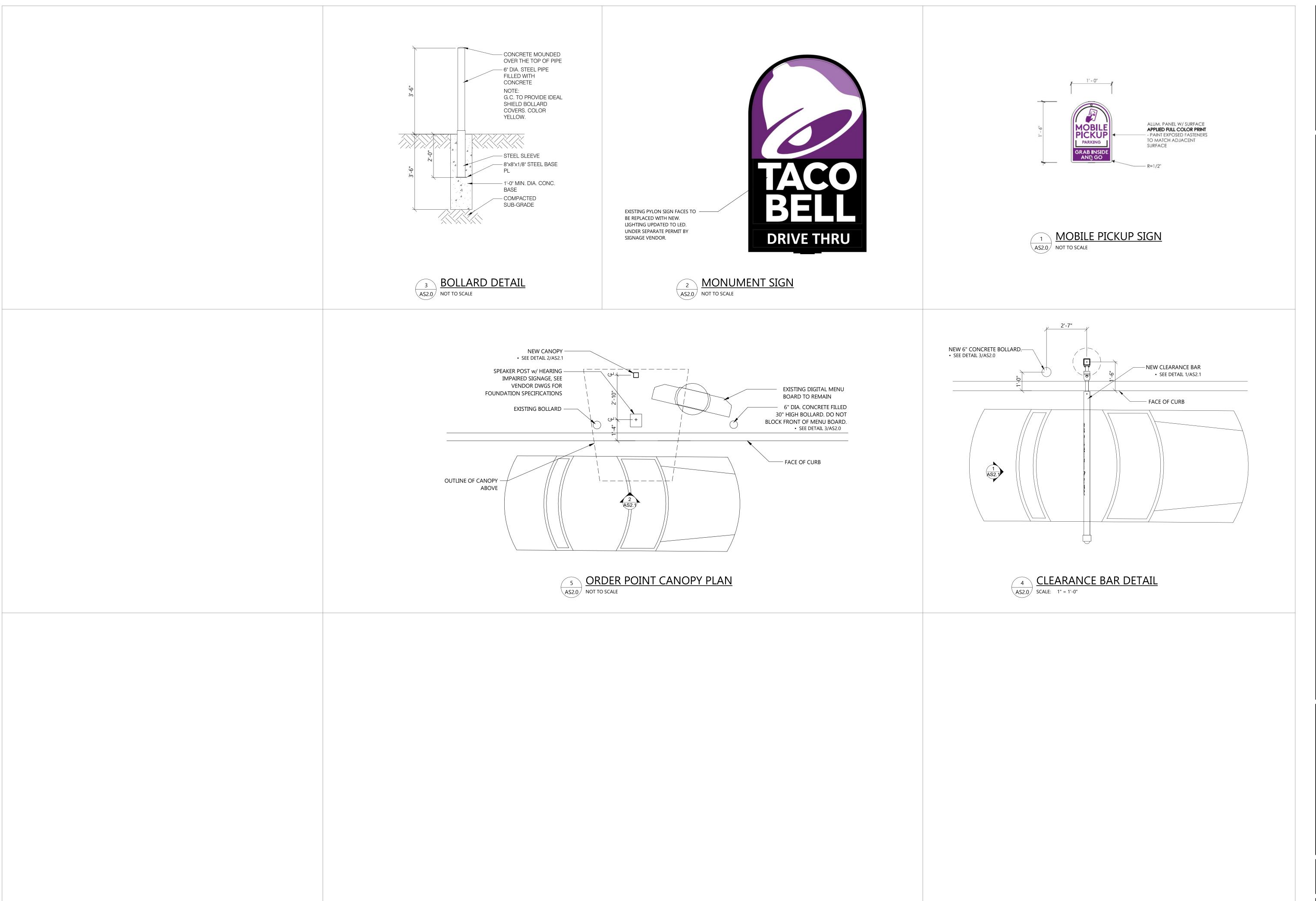
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SHEET DATES
ISSUED FOR CONSTRUCTION

MAR. 6, 2025

JOB NUMBER 24030000

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PROJECT INFORMATION

**NCE** 53073

MIDTERM REMODEL FOR:

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(ILEY WAY • PLYMOUTH, WI 5307

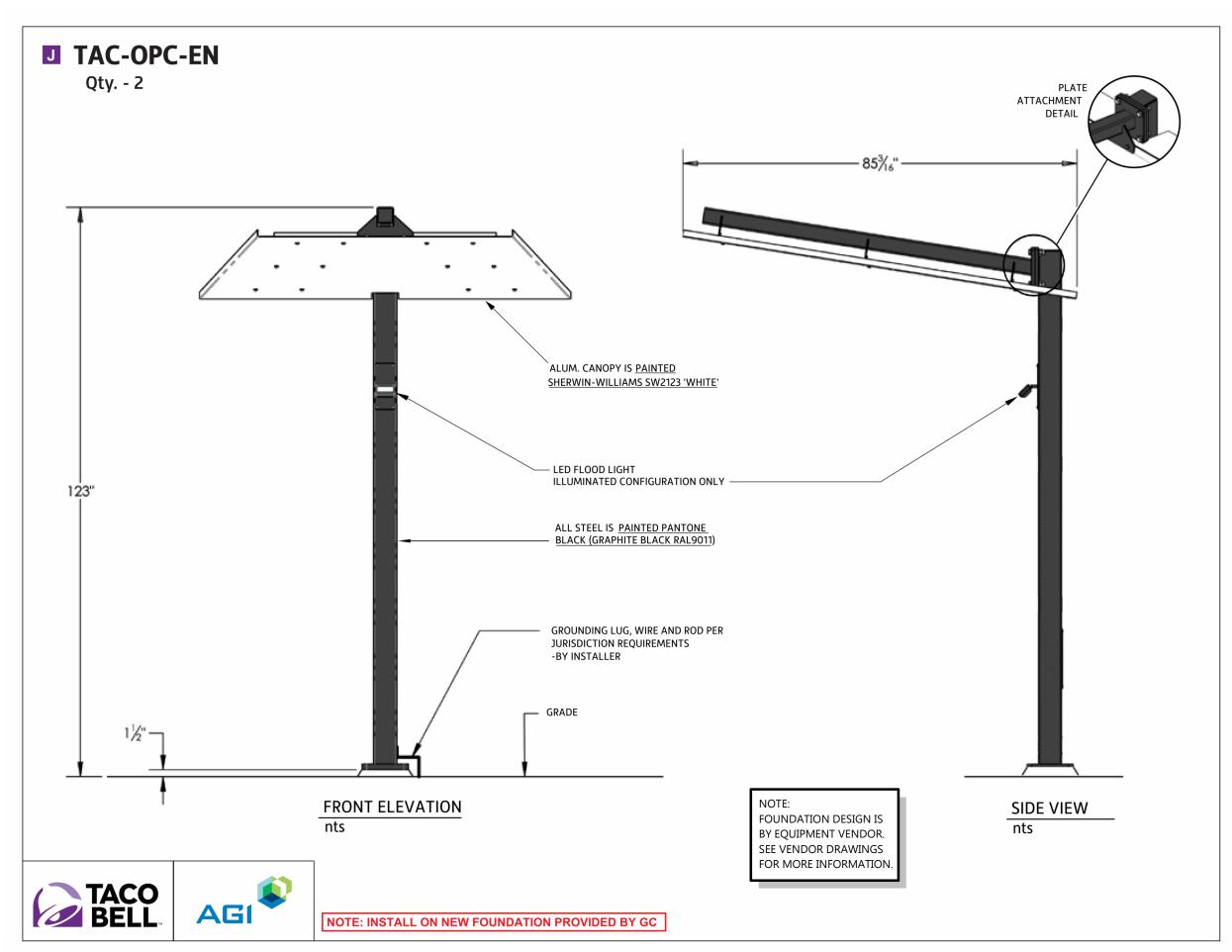
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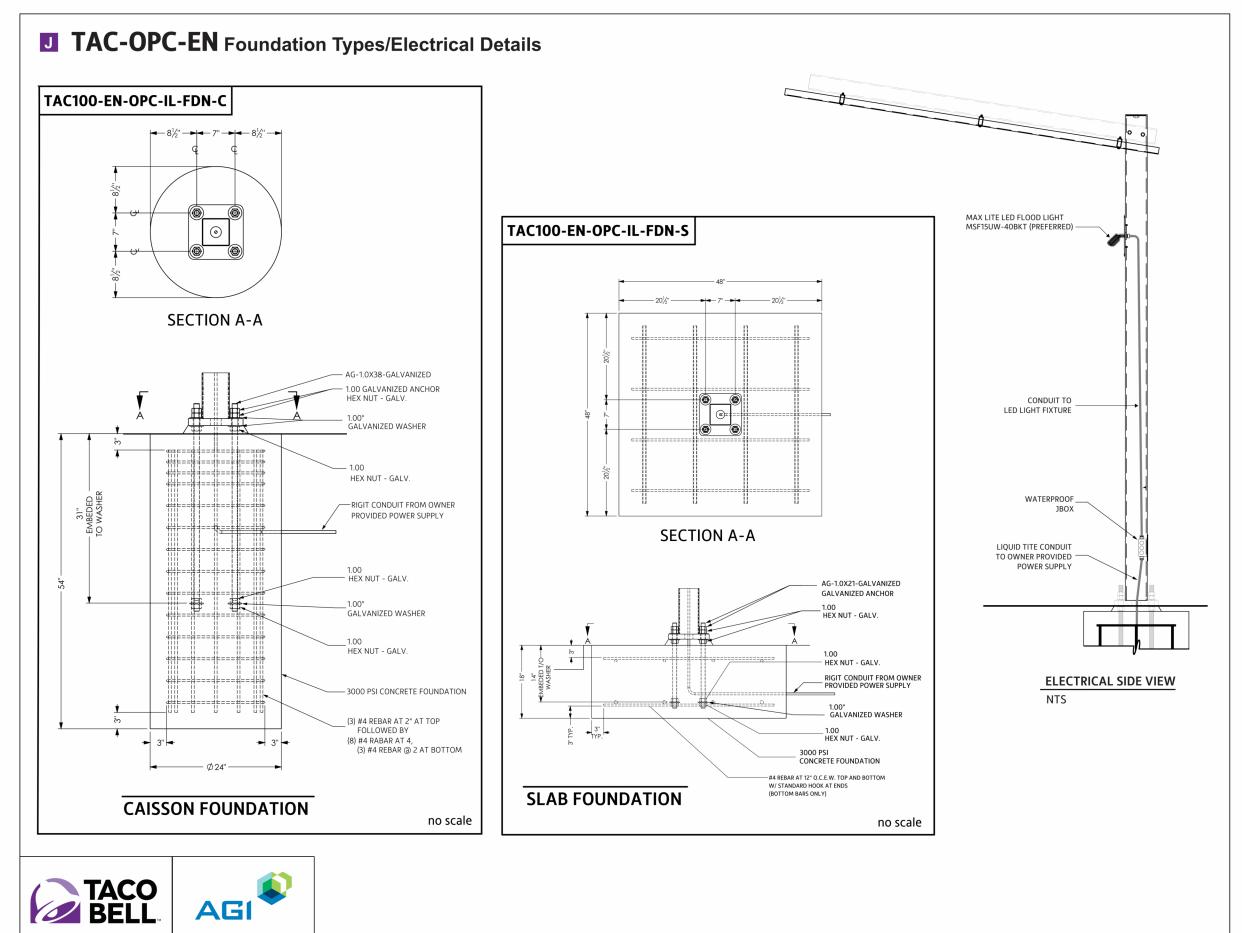
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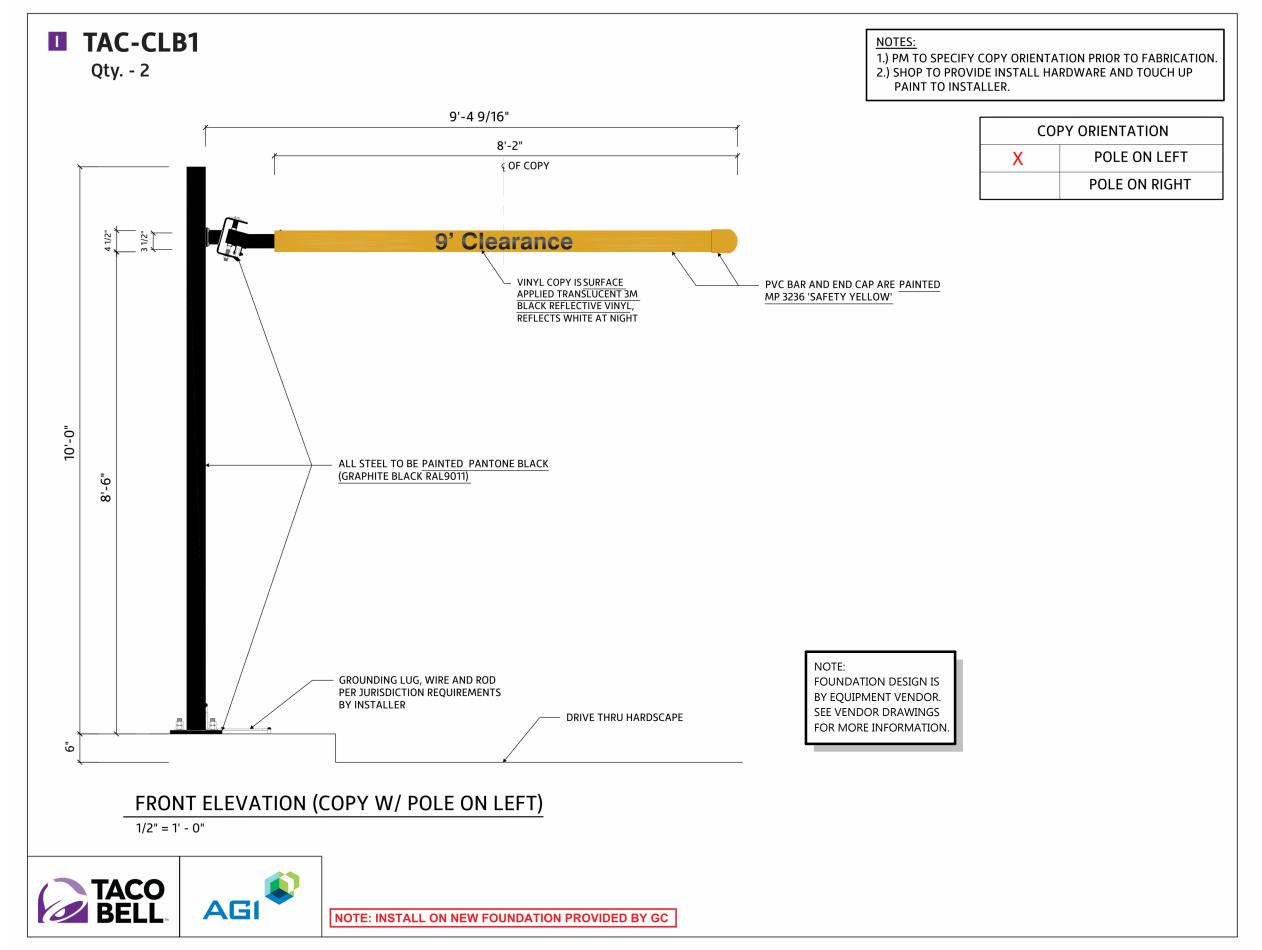
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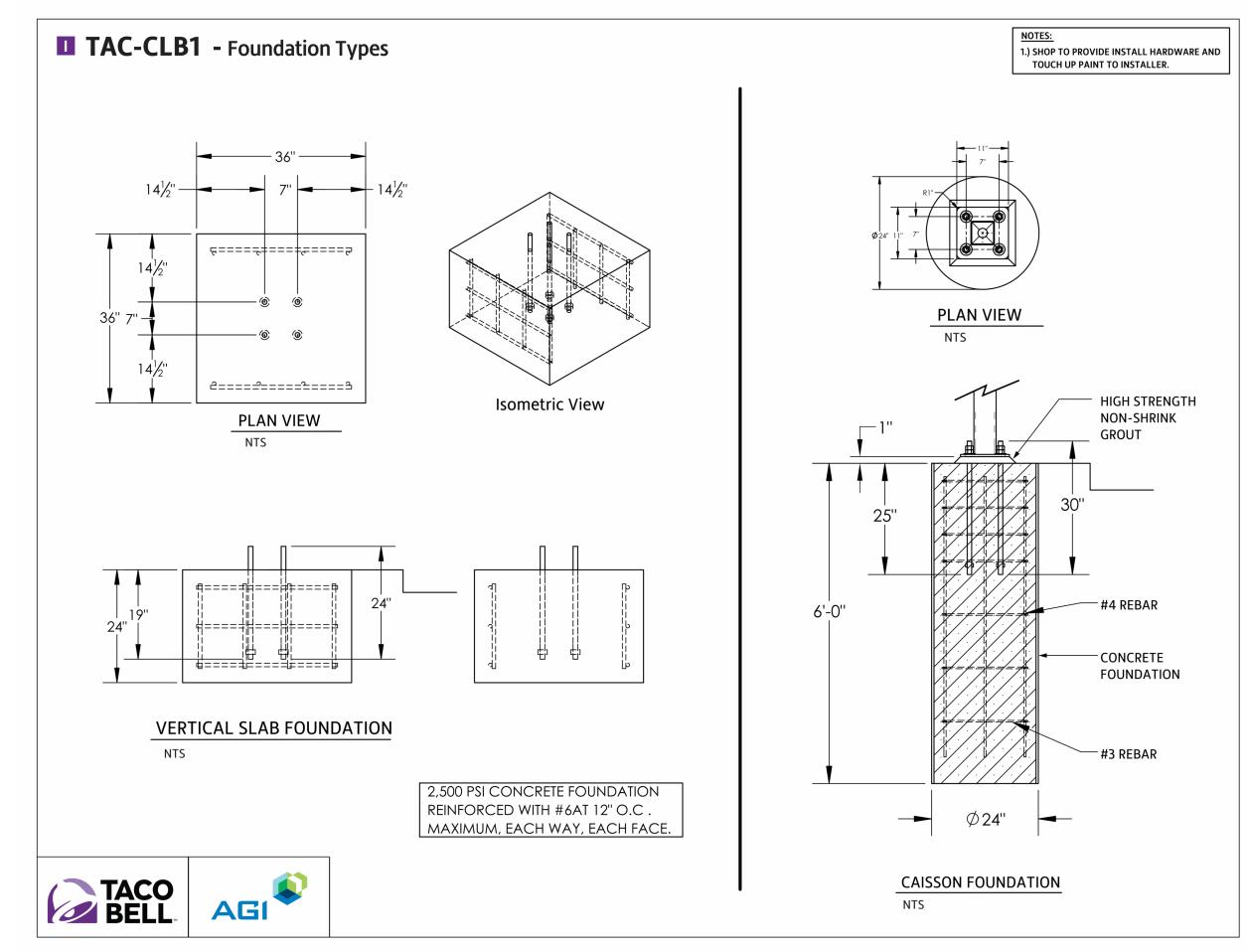
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PROJECT INFORMATION

MIDTERM REMODEL FOR:

SELL - SUNDANCE FOR:

EV WAY - PI VMOLITH WILESON

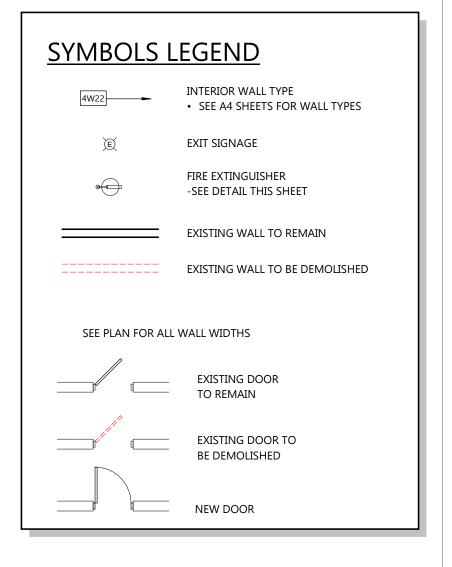
PROFESSIONAL SEAL

ISSUED FOR CONSTRUCTION

IFC MAR. 6, 2025

JOB NUMBER 24030000

AS2.1



# **GENERAL DEMOLITION NOTES**

- ALL DEMOLITION BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. LOCATIONS
  OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR
  GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL
  ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK.
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER, IN ADDITION TO THOSE LISTED ON THE PLAN. ANY ITEM NOT WANTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE GENERAL CONTRACTOR AND DISPOSED OF IN THE PROPER AND LEGAL MANNER.
- SEE HVAC, ELECTRICAL AND PLUMBING DRAWINGS FOR DESCRIPTION OF REQUIRED ASSOCIATED DEMOLITION.
- CUT AND PATCH WALLS TO MATCH EXISTING FOR INSTALLATION OF NEW BOXES AND CONDUITS IN WALLS. SEE ELECTRICAL PLANS FOR LOCATIONS.
- WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE FOR KEEPING THE FACILITY IN OPERATION DURING CONSTRUCTION. ENCLOSURE SHALL BE A WALLED-IN, DUST BARRIER, WATERPROOF WHERE EXPOSED TO THE EXTERIOR. HVAC CONTRACTORS SHALL PROVIDE ALL NEEDED MECHANICALS FOR THE WORK TO PROGRESS AND THE FACILITY TO REMAIN OPERATIONAL.

# 

- 1. REMOVE EXISTING DINING AREA CHAIRS, BOOTHS, TABLE TOPS, CONDIMENT TABLE, HIGH CHAIRS AND TRASH ENCLOSURES. TABLE BASES TO REMAIN. PREP BASES FOR NEW PAINT OR CLEAN AS REQUIRED TO LOOK LIKE NEW CONDITION.
- 2. EXISTING FLOORING AND BASE TILE TO REMAIN. REPLACE DAMAGED TILES AS NEEDED TO MATCH EXISTING TILE. REGROUT WHERE NEEDED. VERIFY SCOPE WITH OWNER.
- 3. REMOVE EXISTING ART WORK, WAINSCOT, WALLPAPER AND CHAIR RAIL. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISH AS SHOWN IN THE FINISH SCHEDULE. REPLACE SUBSTRATE AS REQUIRED.
- 4. REMOVE EXISTING COUNTER AND ASSOCIATED WALLS/FRAMING. PATCH FLOOR AND WALL AS REQUIRED.
- 5. REMOVE EXISTING SODA MACHINE AND ICE MACHINE.
   REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR NEW.
- 6. REMOVE EXISTING CORE DRILLED DECORATIVE PANEL. REPLACE DAMAGED
- FLOOR TILES AS NEEDED TO MATCH EXISTING TILE.

  7. POS REGISTERS SHOULD NOT BE DISCONNECTED FROM NETWORK UNLESS
- VENDOR TECHNICIAN IS PRESENT, SALVAGE FOR REINSTALLATION.
   REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR LOCATION.
- 9. EXISTING HALF WALL TO REMAIN. REMOVE EXISTING FINISHES AND PREP FOR

8. REMOVE EXISTING WINDOW SILLS. PREP AND PREPARE FOR NEW SILL FINISH.

- 10. REMOVE EXISTING WALL FINISH AND PREP AS NEEDED FOR NEW WALL TILE
- PROVIDE NEW CEMENT BOARD OR REPAIR EXISTING AS REQUIRED.
- 11. REMOVE EXISTING DRINK STATION TABLE.
- REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR NEW.
- 12. REMOVE EXISTING MOBILE PICK UP SHELVES.
- 13. EXISTING EPOXY FLOORING TO REMAIN. REPAIR OR REPLACE DAMAGED FLOOR AS NEEDED. VERIFY SCOPE WITH OWNER.
- 14. SEE ELECTRICAL AND PLUMBING DRAWINGS FOR REQUIRED DEMOLITION AND NEW WORK.
- 15. REMOVE EXISTING TEA DISPENSER.
- REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR NEW.
- 16. PROTECT EXISTING EQUIPMENT FROM DUST AND DEBRIS.
- 17. REMOVE EXISTING COFFEE MAKER.
- 18. EXISTING KIOSK TO BE REMOVED BY VENDOR, SALVAGE FOR
- REINSTALLATION. REMOVE EXISTING KIOSK STAND.
   REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR LOCATION.
- 19. REMOVE EXISTING DRINK SYSTEM FRUITISTA MACHINE, SALVAGE FOR REINSTALLATION.
- REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR LOCATION.
   20. PREP/PRIME EXISTING FRAME AND DOOR AS NEEDED FOR NEW PAINT.
- DEMONE EVICTING CUP DISPENSED
- 21. REMOVE EXISTING CUP DISPENSER.
   REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR NEW.
- 22. REMOVE EXISTING LID AND STRAW HOLDER, SALVAGE FOR REINSTALLATION.
- REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR LOCATION.
- 23. REMOVE EXISTING POWER POLE.
- 24. EXISTING DOOR TO BE REMOVED. FRAME TO REMAIN AND BE PREPPED FOR PAINTING. REUSE EXISTING HARDWARE IF ADA COMPLIANT.REFER TO THE FLOOR PLAN ON SHEET A1.1 FOR NEW.
- 25. REMOVE EXISTING SANITARY NAPKIN DISPOSAL. REPAIR WALL AS NEEDED.
- 26. REMOVE EXISTING BACKROOM KIT, WATER FILTER SYSTEM AND BOOSTER TANK.
- REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR NEW.



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PROJECT INFORMATION

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PROFESSIONAL SEAL

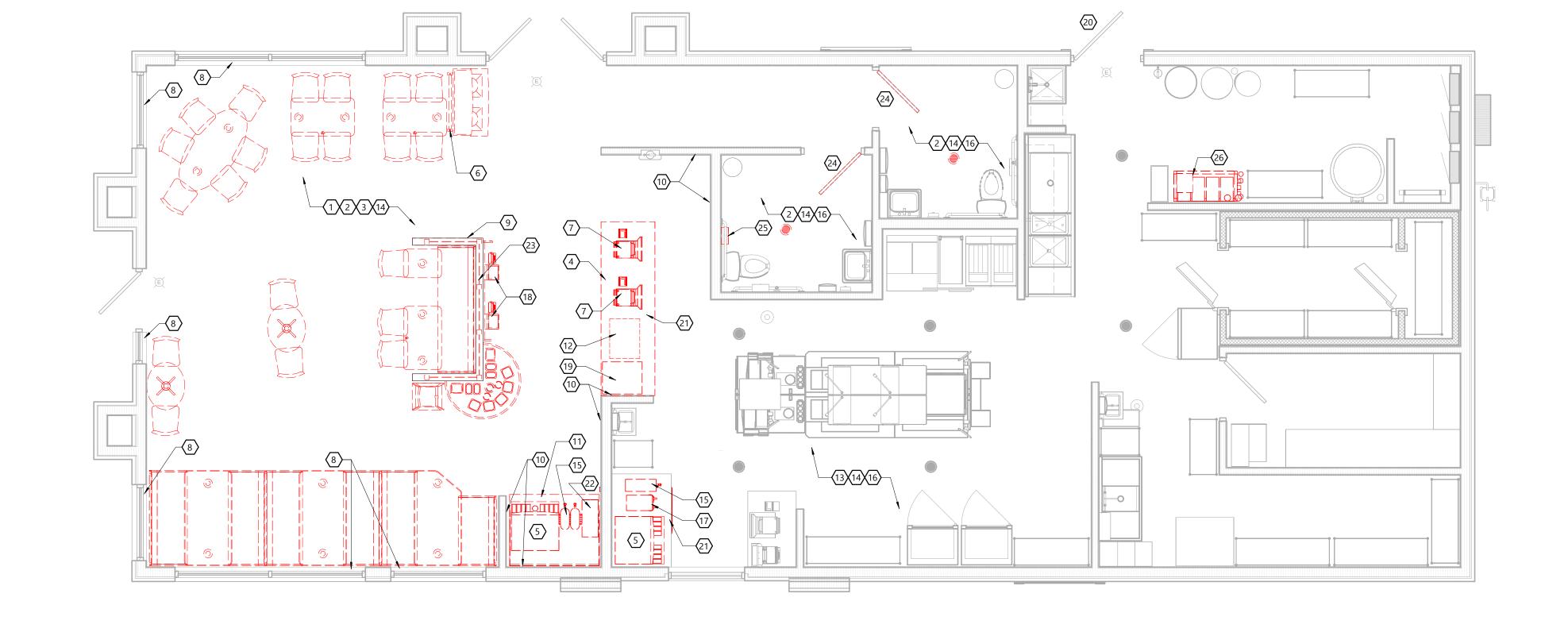
SHEET DATES
ISSUED FOR CONSTRUCTION

MAR. 6, 2025

24030000

SHEET NUMBER

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# SYMBOLS LEGEND INTERIOR WALL TYPE SEE A4 SHEETS FOR WALL TYPES EXIT SIGNAGE FIRE EXTINGUISHER -SEE DETAIL THIS SHEET EXISTING WALL TO REMAIN EXISTING WALL TO BE DEMOLISHED SEE PLAN FOR ALL WALL WIDTHS EXISTING DOOR TO BE DEMOLISHED NEW DOOR

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**6** 

FIRST FLOOR DEMO CEILING PLAN

SCALE: 1/4" = 1'-0"

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# **GENERAL DEMOLITION NOTES**

- ALL DEMOLITION BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. LOCATIONS OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER, IN ADDITION TO THOSE LISTED ON THE PLAN. ANY ITEM NOT WANTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE GENERAL CONTRACTOR AND DISPOSED OF IN THE PROPER AND LEGAL

ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK.

- SEE HVAC, ELECTRICAL AND PLUMBING DRAWINGS FOR DESCRIPTION OF REQUIRED ASSOCIATED DEMOLITION.
- CUT AND PATCH WALLS TO MATCH EXISTING FOR INSTALLATION OF NEW BOXES AND CONDUITS IN WALLS. SEE ELECTRICAL PLANS FOR LOCATIONS.
- WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE FOR KEEPING THE FACILITY IN OPERATION DURING CONSTRUCTION. ENCLOSURE SHALL BE A WALLED-IN, DUST BARRIER, WATERPROOF WHERE EXPOSED TO THE EXTERIOR. HVAC CONTRACTORS SHALL PROVIDE ALL NEEDED MECHANICALS FOR THE WORK TO PROGRESS AND THE FACILITY

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- 1. REMOVE EXISTING CEILING TILES. METAL GRID TO REMAIN. CLEAN/REPAIR/ PAINT OR REPLACE GRID AS REQUIRED.
- 2. REMOVE ALL EXISTING CEILING MOUNTED EQUIPMENT EXISTING SPEAKERS,
- 3. EXISTING GRILLES AND DIFFUSERS TO REMAIN. CLEAN/REPAIR/PAINT OR
- 4. REMOVE EXISTING LIGHT FIXTURES.
- REFER TO THE ELECTRICAL DRAWINGS FOR NEW LIGHTS.
- 5. REMOVE EXISTING PENDANT LIGHTS.
- 6. EXISTING HOOD TO REMAIN.
- 7. EXISTING CANOPY TO REMAIN. REPAIR AS REQUIRED. PREP FOR NEW PAINT.
- REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1 FOR SCOPE
- REQUIRED FOR NEW CONSTRUCTION. PREPARE AREA FOR NEW CEILING AS SHOWN ON THE REFLECTED CEILING PLAN ON SHEET A7.1.
- REQUIRED. FINISH TO MATCH EXISTING. PREP FOR NEW FIXTURES WHERE
- 12. EXISTING CEILING TILES, GRID AND HVAC GRILLES TO REMAIN.
- REFER TO THE REFLECTED CEILING PLAN ON SHEET A7.1.
- 14. REMOVE EXISTING POWER POLE.

- REFER TO THE REFLECTED CEILING PLAN ON SHEET A7.1.
- SECURITY EQUIPMENT, EGRESS LIGHTING DEVICES, ETC. FOR CEILING WORK. TEST AND VERIFY DEVICES ARE IN WORKING CONDITION. REPAIR OR CLEAN AS NEEDED. PROTECT DURING CONSTRUCTION AND SAVE FOR RE-INSTALLATION IN SAME LOCATIONS.
- REPLACE AS REQUIRED.

- REFER TO THE ELECTRICAL DRAWINGS FOR NEW LIGHTS.
- REPLACE EXISTING CANOPY LIGHT BULBS WITH NEW COMPATIBLE LED BULBS. CLEAN FIXTURES AS NEEDED.
- 8. EXISTING CANOPY TO REMAIN. REPAIR AS REQUIRED. PREP FOR NEW PAINT. REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1 FOR SCOPE
- 9. REMOVE EXISTING CANOPY. PATCH AND REPAIR EIFS AS REQUIRED. FINISH
- TO MATCH EXISTING. 10. REMOVE EXISTING MENU BOARDS, EXISTING SOFFIT AND CEILING AS
- 1. REMOVE EXISTING EXTERIOR LIGHT FIXTURES. PATCH AND REPAIR EIFS AS
- REFER TO THE ELECTRICAL DRAWINGS FOR NEW LIGHTS.
- 13. EXISTING GYP. BOARD CEILING TO REMAIN. PREP FOR NEW PAINT.
- 15. REMOVE EXISTING METAL FRAME AND PERGOLA STRUCTURE.

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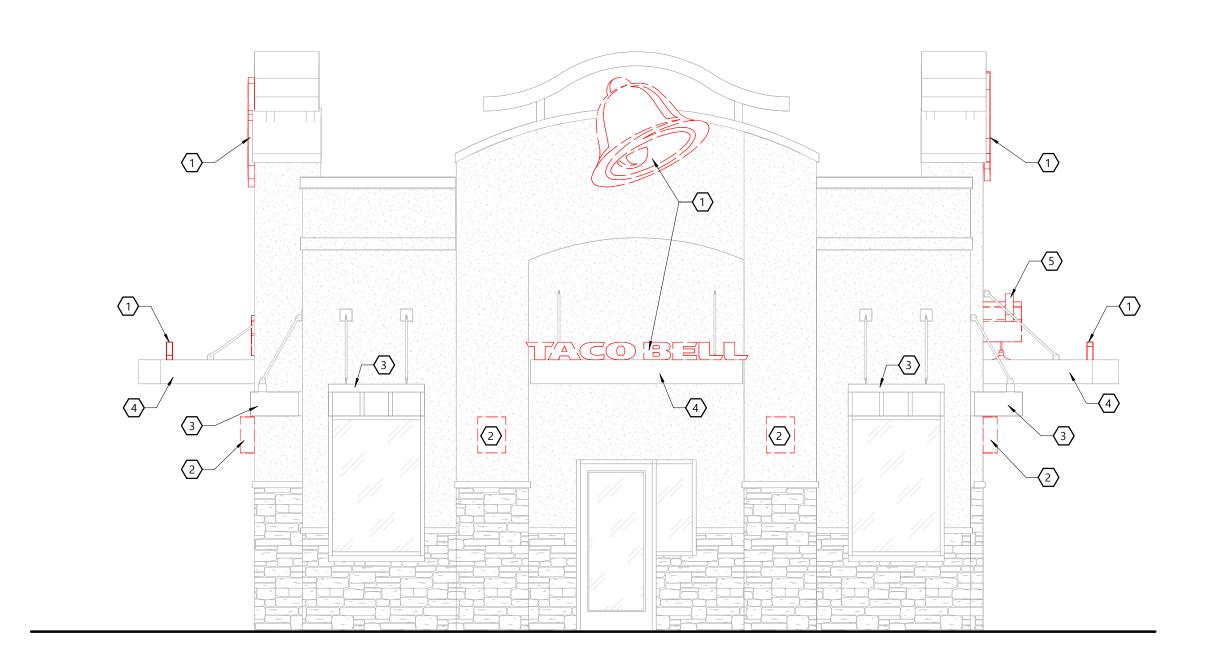
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PROFESSIONAL SEAL

SHEET DATES **ISSUED FOR CONSTRUCTION** MAR. 6, 2025

**JOB NUMBER** 240300000



EAST DEMO ELEVATION

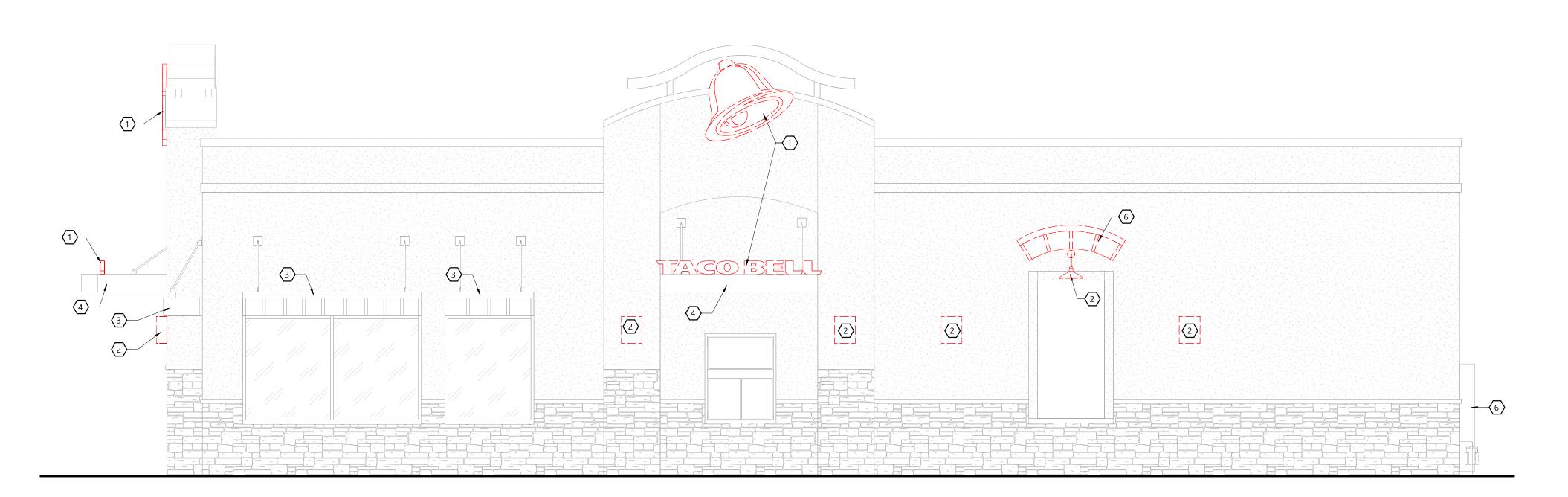
SCALE: 1/4" = 1'-0"

# GENERAL DEMOLITION NOTES

- ALL DEMOLITION BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
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  GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL
  ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK.
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER, IN ADDITION TO THOSE LISTED ON THE PLAN. ANY ITEM NOT WANTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE GENERAL CONTRACTOR AND DISPOSED OF IN THE PROPER AND LEGAL MANNER.
- SEE HVAC, ELECTRICAL AND PLUMBING DRAWINGS FOR DESCRIPTION OF REQUIRED ASSOCIATED DEMOLITION.
- CUT AND PATCH WALLS TO MATCH EXISTING FOR INSTALLATION OF NEW BOXES AND CONDUITS IN WALLS. SEE ELECTRICAL PLANS FOR LOCATIONS.
- WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE FOR KEEPING THE FACILITY IN OPERATION DURING CONSTRUCTION. ENCLOSURE SHALL BE A WALLED-IN, DUST BARRIER, WATERPROOF WHERE EXPOSED TO THE EXTERIOR. HVAC CONTRACTORS SHALL PROVIDE ALL NEEDED MECHANICALS FOR THE WORK TO PROGRESS AND THE FACILITY TO REMAIN OPERATIONAL.

# 

- REMOVE EXISTING SIGNAGE. PATCH AND REPAIR WALL AND CANOPY WHERE SIGNAGE IS REMOVED. FINISH TO MATCH EXISTING.
   REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1 FOR NEW.
- 2. REMOVE EXISTING EXTERIOR LIGHT FIXTURES. PATCH AND REPAIR EIFS AS REQUIRED. FINISH TO MATCH EXISTING. PREP FOR NEW FIXTURES WHERE SHOWN.
  REFER TO THE ELECTRICAL DRAWINGS FOR NEW LIGHTS.
- 3. EXISTING CANOPY TO REMAIN. REPAIR AS REQUIRED. PREP FOR NEW PAINT.
   REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.
- 4. EXISTING CANOPY TO REMAIN. REPAIR AS REQUIRED. PREP FOR NEW PAINT. REPLACE EXISTING CANOPY LIGHT BULBS WITH NEW COMPATIBLE LED BULBS. CLEAN FIXTURES AS NEEDED.
- REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.
- 5. REMOVE EXISTING CANOPY. PATCH AND REPAIR EIFS AS REQUIRED. FINISH TO MATCH EXISTING.
- 6. PREP/PRIME EXISTING HVAC, ELECTRICAL, OR PLUMBING SERVICE EQUIPMENT FOR NEW PAINT IF ALLOWED.
- 7. PREP/PRIME EXISTING FRAME AND DOOR AS NEEDED FOR NEW PAINT.
   REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.



NORTH DEMO ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT INFORMATION

- SUNDANCE
PLYMOUTH, WI 53073

PROFESSIONAL SEAL

ISSUED FOR CONSTRUCTION

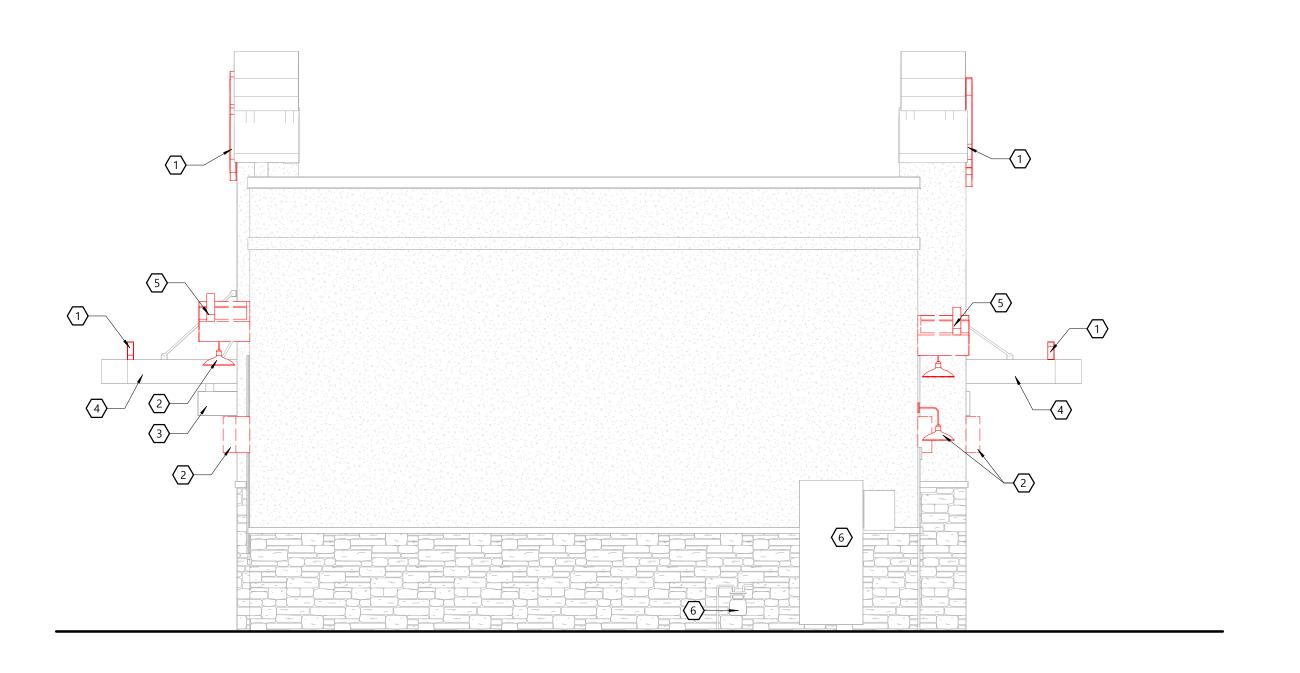
IFC MAR. 6, 2025

JOB NUMBER

SHEET NUMBER

AD2.0

240300000



# WEST DEMO ELEVATION SCALE: 1/4" = 1'-0"

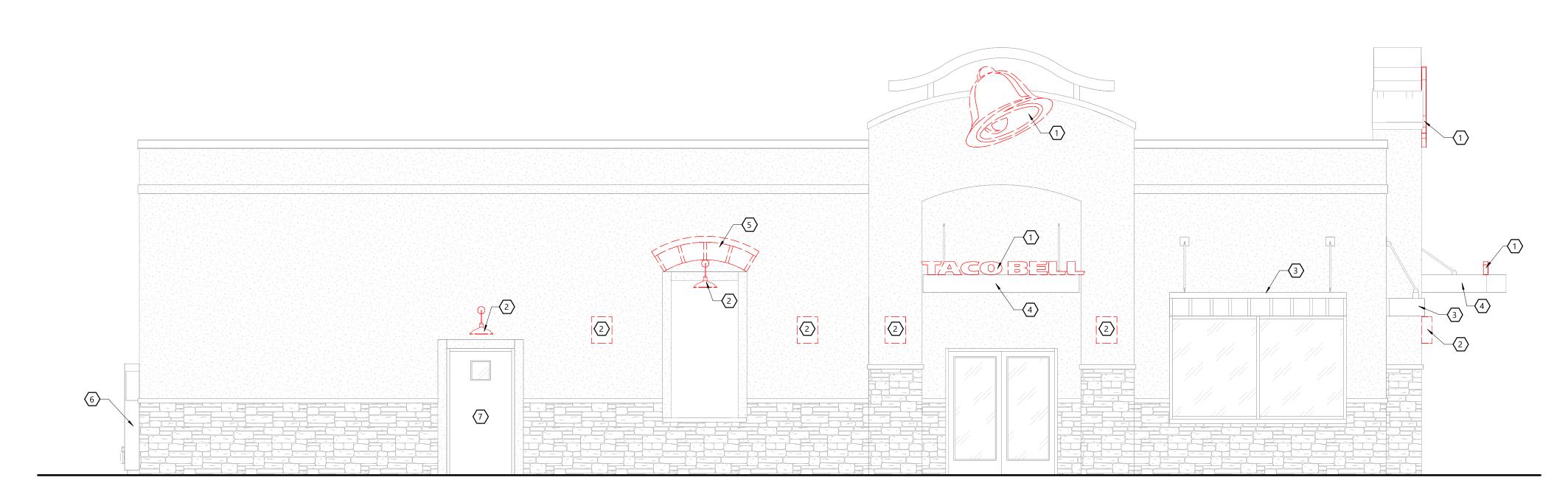
# GENERAL DEMOLITION NOTES

- ALL DEMOLITION BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. LOCATIONS
  OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR
  GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL
  ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK.
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER, IN ADDITION TO THOSE LISTED ON THE PLAN. ANY ITEM NOT WANTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE GENERAL CONTRACTOR AND DISPOSED OF IN THE PROPER AND LEGAL MANNER.
- SEE HVAC, ELECTRICAL AND PLUMBING DRAWINGS FOR DESCRIPTION OF REQUIRED ASSOCIATED DEMOLITION.
- CUT AND PATCH WALLS TO MATCH EXISTING FOR INSTALLATION OF NEW BOXES AND CONDUITS IN WALLS. SEE ELECTRICAL PLANS FOR LOCATIONS.
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- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE FOR KEEPING THE FACILITY IN OPERATION DURING CONSTRUCTION.
   ENCLOSURE SHALL BE A WALLED-IN, DUST BARRIER, WATERPROOF WHERE EXPOSED TO THE EXTERIOR. HVAC CONTRACTORS SHALL PROVIDE ALL NEEDED MECHANICALS FOR THE WORK TO PROGRESS AND THE FACILITY TO REMAIN OPERATIONAL.

# 

REFER TO THE ELECTRICAL DRAWINGS FOR NEW LIGHTS.

- REMOVE EXISTING SIGNAGE. PATCH AND REPAIR WALL AND CANOPY WHERE SIGNAGE IS REMOVED. FINISH TO MATCH EXISTING.
   REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1 FOR NEW.
- 2. REMOVE EXISTING EXTERIOR LIGHT FIXTURES. PATCH AND REPAIR EIFS AS REQUIRED. FINISH TO MATCH EXISTING. PREP FOR NEW FIXTURES WHERE SHOWN.
- 3. EXISTING CANOPY TO REMAIN. REPAIR AS REQUIRED. PREP FOR NEW PAINT.
   REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.
- 4. EXISTING CANOPY TO REMAIN. REPAIR AS REQUIRED. PREP FOR NEW PAINT. REPLACE EXISTING CANOPY LIGHT BULBS WITH NEW COMPATIBLE LED BULBS. CLEAN FIXTURES AS NEEDED.
- REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.
- 5. REMOVE EXISTING CANOPY. PATCH AND REPAIR EIFS AS REQUIRED. FINISH TO MATCH EXISTING.
- 6. PREP/PRIME EXISTING HVAC, ELECTRICAL, OR PLUMBING SERVICE EQUIPMENT FOR NEW PAINT IF ALLOWED.
- 7. PREP/PRIME EXISTING FRAME AND DOOR AS NEEDED FOR NEW PAINT.
   REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.



SOUTH DEMO ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT INFORMATION

L FOR: **NDANCE**TH, WI 53073

TACO BELL - SUNDITH 3062 KILEY WAY • PLYMOUTH

PROFESSIONAL SEAL

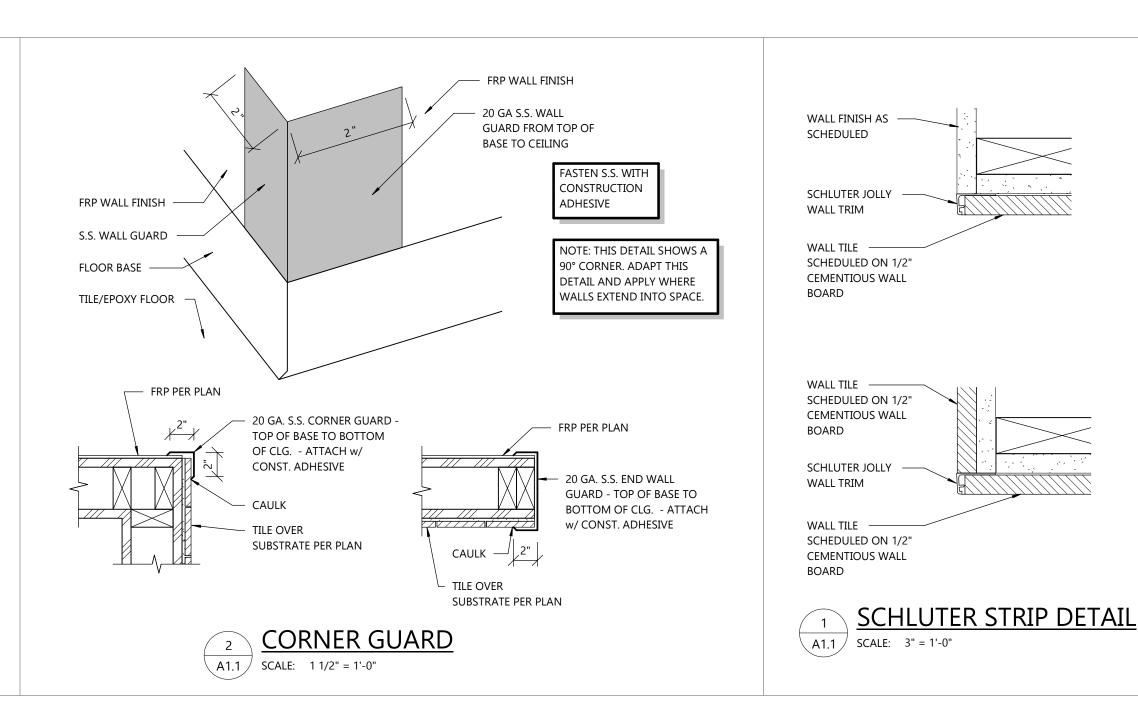
SHEET DATES
ISSUED FOR CONSTRUCTION

MAR. 6, 2025

JOB NUMBER 24030000

SHEET NUMBER

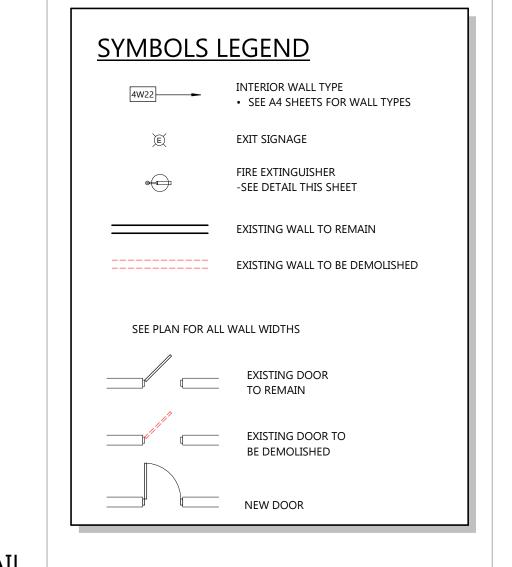
AD2.



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KITCHEN 105

WOMEN'S



FREEZER

111

COOLER

STORAGE

OFFICE 109

# **GENERAL NOTES**

- ALL INTERIOR DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH. ALL INTERIOR DIMENSIONS FROM NEW WALLS ARE FROM FACE-OF-STUD.
- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 @ 16" O.C. (SEE INTERIOR WALL TYPES FOR SIZE) w/ 1/2" GYPSUM BOARD BOTH SIDES - EXTEND TO
- PROVIDE SOUND BATT INSULATION AROUND PERIMETER OF THE TOILET
- SEE SHEET A6.0 FOR DOOR SCHEDULE AND WINDOW SCHEDULE.

BOTTOM CHORD OF TRUSSES / UNDERSIDE OF DECK.

- ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED
- G.C. TO FIELD VERIFY ALL DIMENSIONS & CONDITIONS ON SITE.
- G.C. TO FIELD VERIFY AND MAINTAIN ALL FIRE SYSTEMS.
- PROVIDE PROPER 2X BLOCK AT ALL RECESSED ACCESSORIES, WALL, & CEILING MOUNTED EQUIPMENT, SIGNAGE, PLUMBING/LIGHT FIXTURES, ETC. TYP.
- G.C. SHALL PATCH & REPAIR/REPLACE FINISHES AND SUBSTRATE DAMAGED DURING CONSTRUCTION.

# SALES & SERVICE COUNTERS

IN RETAIL STORES WHERE COUNTERS HAVE CASH REGISTERS AND ARE PROVIDED FOR SALES OR DISTRIBUTION OF GOODS OR SERVICES TO THE PUBLIC, AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36" IN LENGTH WITH A MAXIMUM HEIGHT OF 36" ABOVE THE FINISH FLOOR. COUNTER SHALL BE ON AN ACCESSIBLE ROUTE COMPLYING WITH ADA GUIDELINE 4.3.

- 3. NEW WALL PAINT AT DINING ROOM WALLS. • REFER TO THE INTERIOR ELEVATIONS ON SHEET A5.0.
- 4. NEW WINDOW SILLS.
- REFER TO THE INTERIOR ELEVATIONS ON SHEET A5.0.
- 5. NEW CHAIR RAIL AT PERIMETER WALLS.
- REFER TO THE INTERIOR ELEVATIONS AND DETAILS ON SHEET A5.0.
- SEE DETAIL 10/A5.1
- 8. REFER TO SHEET A9.1 FOR FURNITURE AND EQUIPMENT INFORMATION.
- BOTH SIDES. G.C. TO VERIFY SIZE NEEDED. EXISTING FRAMES TO BE REUSED AND REPAINTED. NEW RESTROOM AND ADA SIGNAGE TO BE
- REFER TO THE FINISH SCHEDULE AND DOOR SCHEDULE ON SHEET A6.0.
- 10. EXISTING GAS METER.
- REFER TO THE ELECTRICAL DRAWINGS.
- 12. EXISTING WATER METER.

SEE DETAIL 1/A1.1

- 13. SCHLUTER WALL TRIM STRIP.
- ALL WALL TILE. • REFER TO THE INTERIOR ELEVATIONS ON SHEET A5.0.

# **⊗** FLOOR PLAN KEYNOTES

- 1. S.S. CORNER GUARD / WALL CAP TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 2/A1.1
- 2. EXISTING FIRE EXTINGUISHER TO REMAIN, TYP. OF (2).

- REFER TO THE INTERIOR ELEVATIONS AND DETAILS ON SHEET A5.0.
- 6. NEW WALL COVERING AT PERIMETER WALLS.
- 7. EXISTING LOW WALL WITH NEW FINISHES.
- 9. NEW DOOR WITH L-2 LAMINATE AND STAINLESS STEEL KICKPLATE FOR

- 11. EXISTING ELECTRICAL EQUIPMENT.

- 14. NEW WALL TILE IN THIS LOCATION. PROVIDE CEMENT BOARD BEHIND

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REMODE

4

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**PROJECT INFORMATION** 

**SHEET DATES** 

**ISSUED FOR CONSTRUCTION** MAR. 6, 2025

**JOB NUMBER** 240300000

**SHEET NUMBER** 



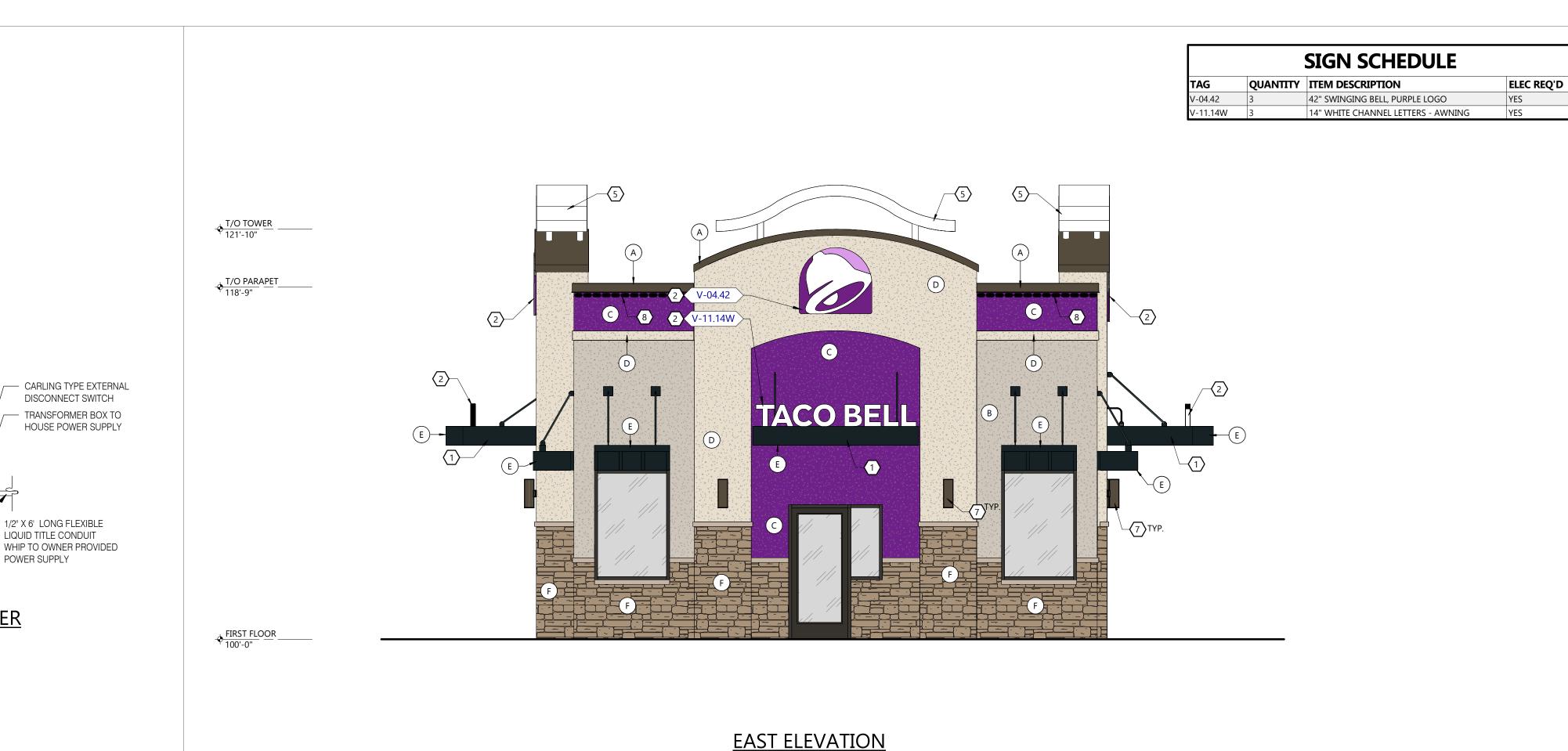
SERVING

4

DINING 100

3\5\6\8\

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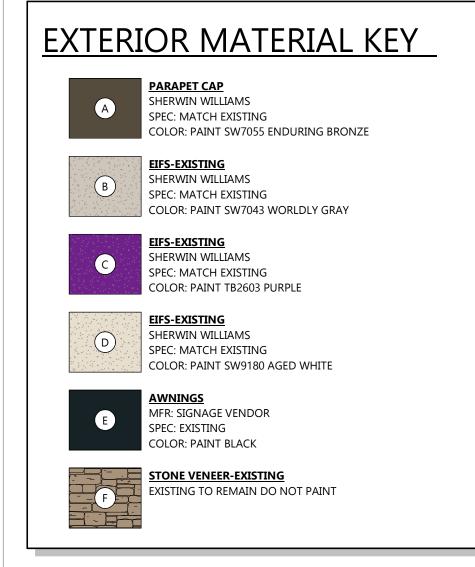


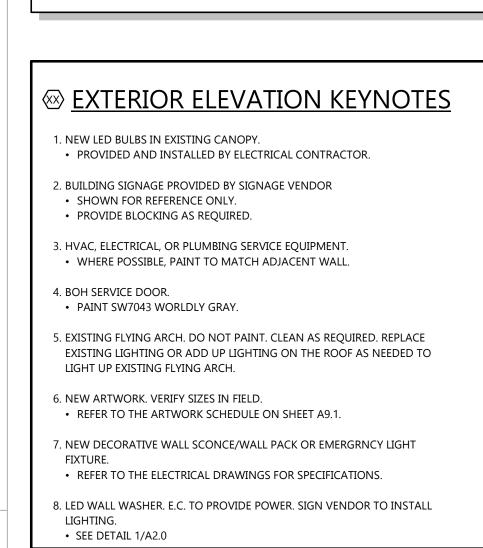
SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"







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**SHEET DATES ISSUED FOR CONSTRUCTION** MAR. 6, 2025

JOB NUMBER 240300000

SHEET NUMBER

EXISTING WALL -

HORIZONTAL TRIM -

#8 S.S.P.H. WOOD SCREW @ 24" O.C. -

.063" BRAKE FORMED

ALUM. LIGHT TRAY —

AGILIGHT ULTRA 650

PURPLE LED - (5) PER

WALL BUSTER FOR LED WIRE PASS THRU ----

2" 3/16 SPACER W/ 14" DIAMETER HARDWARE

AS REQUIRED -

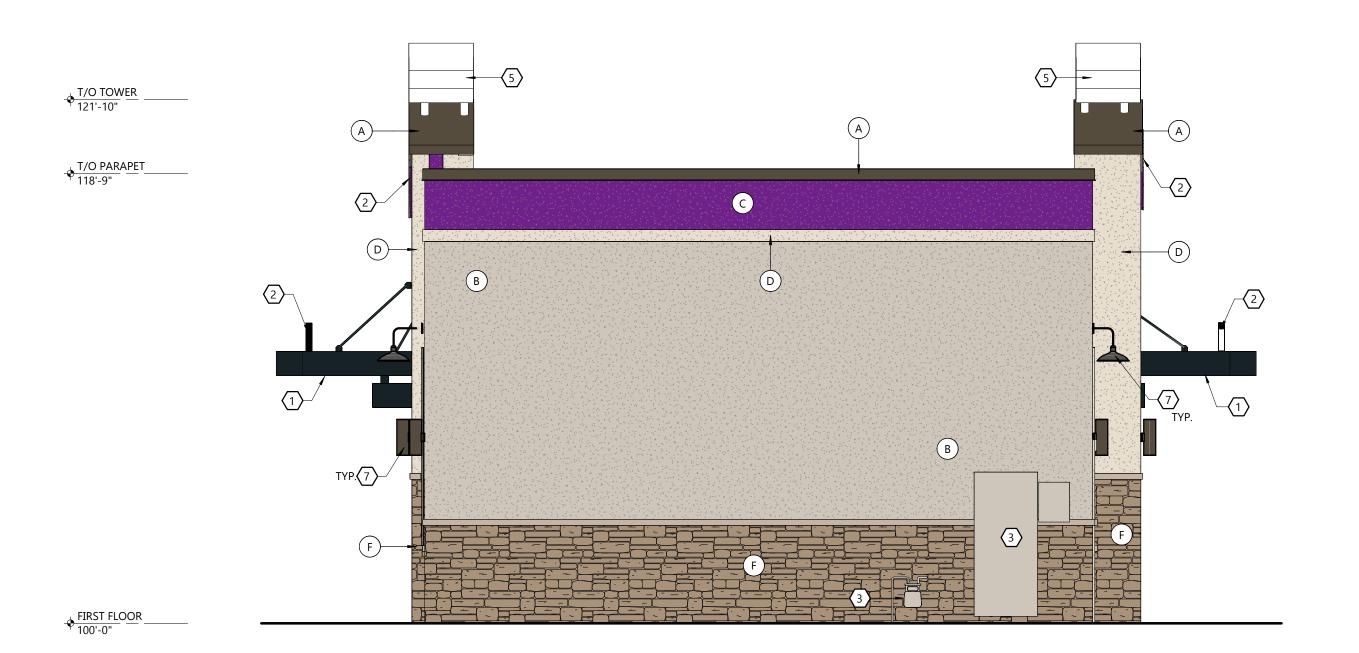
1/2" X 6' LONG FLEXIBLE

LIQUID TITLE CONDUIT

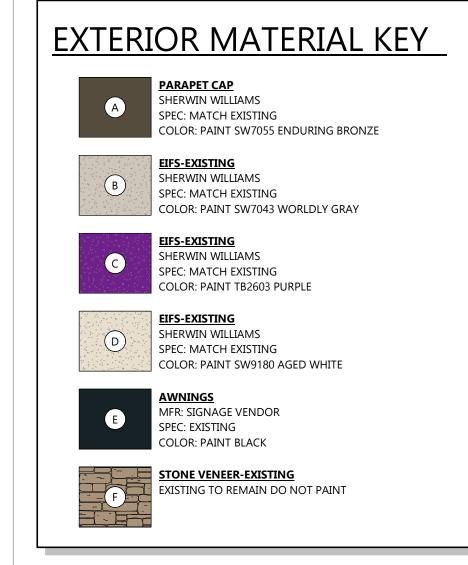
POWER SUPPLY

1 A2.0 LED WALL WASHER
SCALE: 1 1/2" = 1'-0"



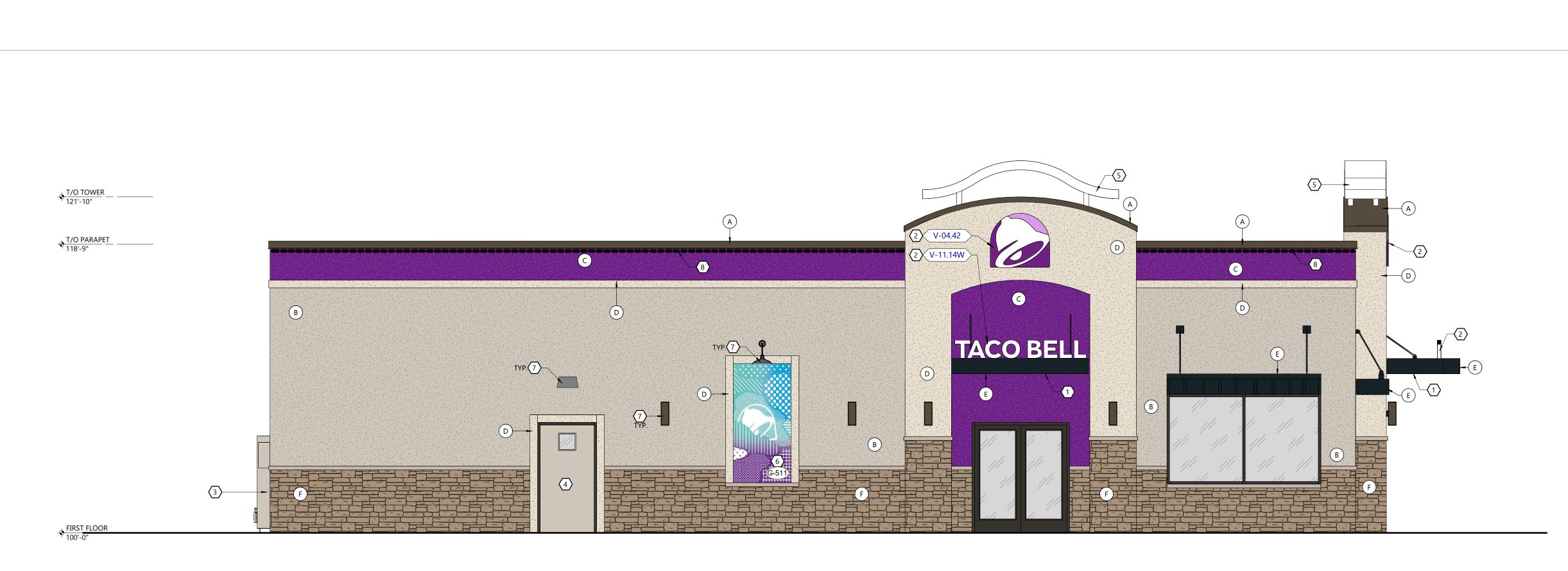


**WEST ELEVATION** SCALE: 1/4" = 1'-0"



# 

- 1. NEW LED BULBS IN EXISTING CANOPY. PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- 2. BUILDING SIGNAGE PROVIDED BY SIGNAGE VENDOR SHOWN FOR REFERENCE ONLY. PROVIDE BLOCKING AS REQUIRED.
- 3. HVAC, ELECTRICAL, OR PLUMBING SERVICE EQUIPMENT. WHERE POSSIBLE, PAINT TO MATCH ADJACENT WALL.
- 4. BOH SERVICE DOOR. PAINT SW7043 WORLDLY GRAY.
- 5. EXISTING FLYING ARCH. DO NOT PAINT. CLEAN AS REQUIRED. REPLACE EXISTING LIGHTING OR ADD UP LIGHTING ON THE ROOF AS NEEDED TO LIGHT UP EXISTING FLYING ARCH.
- 6. NEW ARTWORK. VERIFY SIZES IN FIELD. REFER TO THE ARTWORK SCHEDULE ON SHEET A9.1.
- 7. NEW DECORATIVE WALL SCONCE/WALL PACK OR EMERGRNCY LIGHT FIXTURE. • REFER TO THE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
- 8. LED WALL WASHER. E.C. TO PROVIDE POWER. SIGN VENDOR TO INSTALL LIGHTING. SEE DETAIL 1/A2.0



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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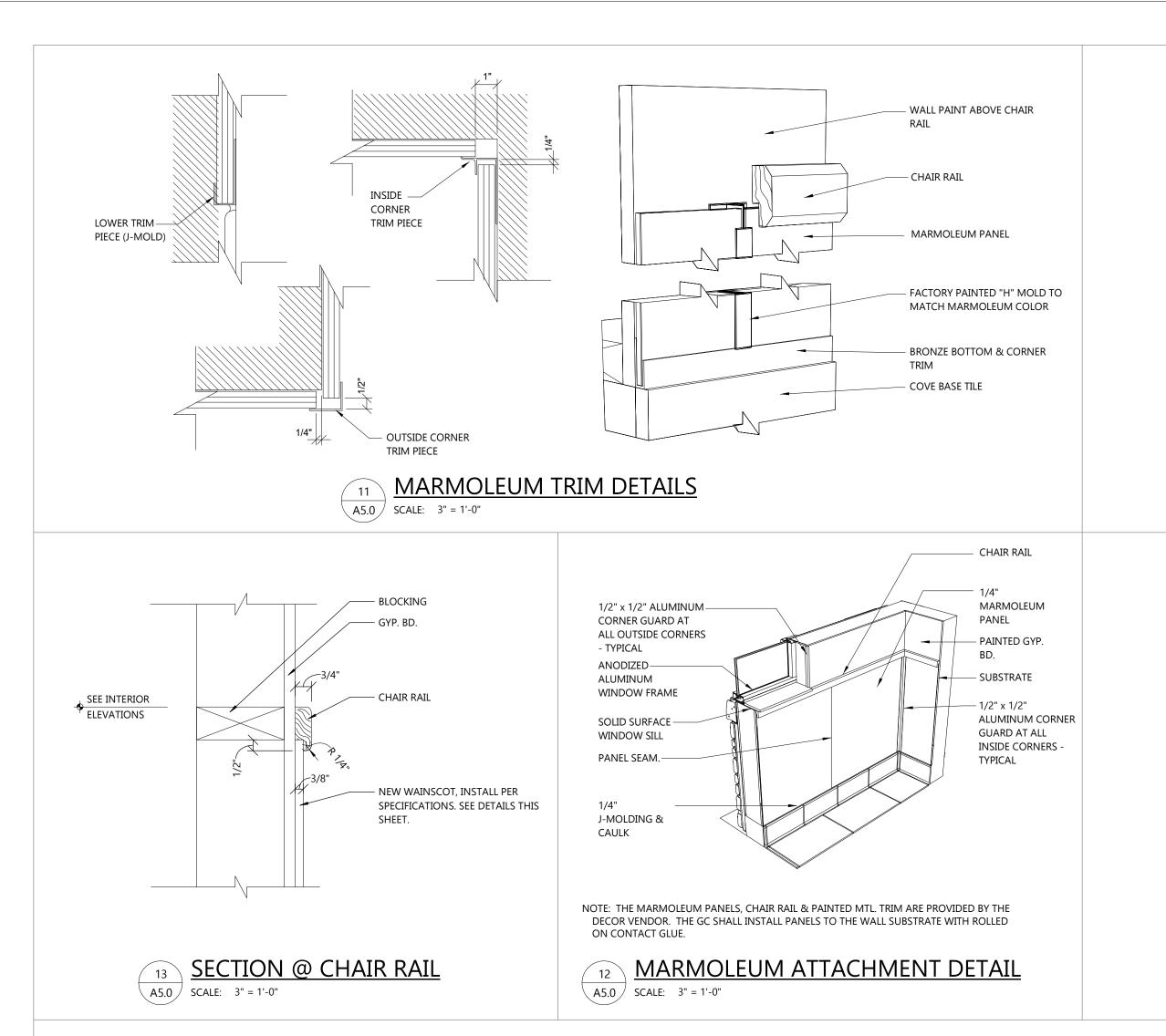
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PROJECT INFORMATION

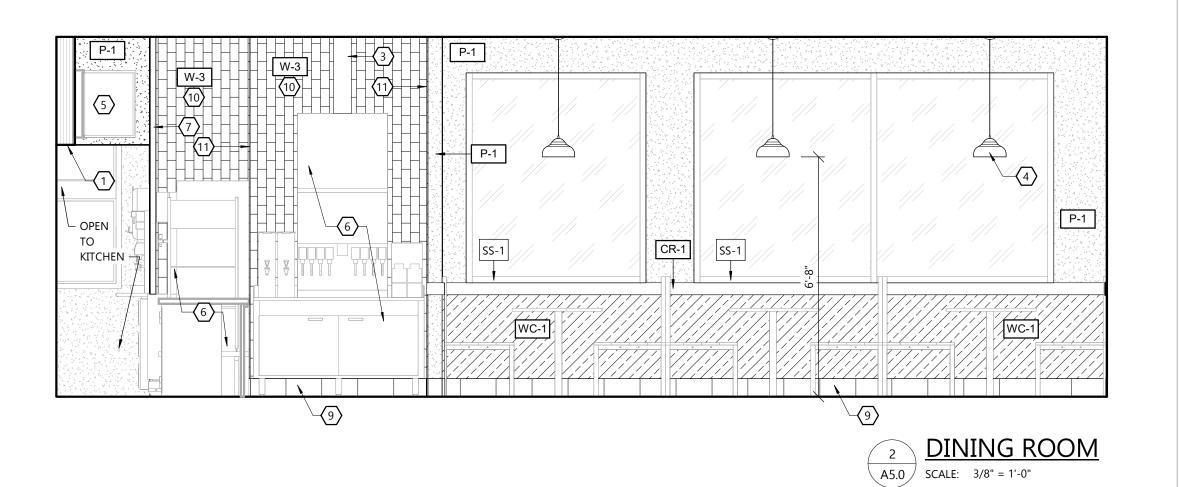
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JOB NUMBER 240300000



P-1 P-1  $\rightarrow$ 4 SS-1 SS-1 WC-1 9 9  $\frac{1}{A5.0} \frac{DINING ROOM}{SCALE: 3/8" = 1'-0"}$ 



# GENERAL NOTES

• REFER TO THE FINISH SCHEDULE ON SHEET A6.0 FOR FINISHES.

REFER TO THE EQUIPMENT PLAN ON SHEET A9.1 FOR FURNITURE AND

• REFER TO SHEET T1.1 AND T1.2 FOR REQUIRED SIGNS.

PROVIDE CLEAR SILICONE CAULK WHERE ALL FIXED AND BUILT-IN COUNTERS/EQUIPMENT ABUT WALL SURFACES. WHERE GAP BETWEEN WALL AND COUNTER/EQUIPMENT EXCEEDS 1/4", PROVIDE S.S. CLOSURE ANGLE.

# **⊗** INTERIOR ELEVATION KEYNOTES

- 1. NEW MENU BOARD BULKHEAD. STAINLESS TO FINISH OFF UNDERSIDE OF
- REFER TO THE FINISH SCHEDULE ON SHEET A6.0. SEE DETAIL 1/A7.1
- REFER TO SHEET T1.1 AND T1.2 FOR REQUIREMENTS.
- 4. NEW PENDANT LIGHT, TYP.
- REFER TO THE ELECTRICAL DRAWINGS.

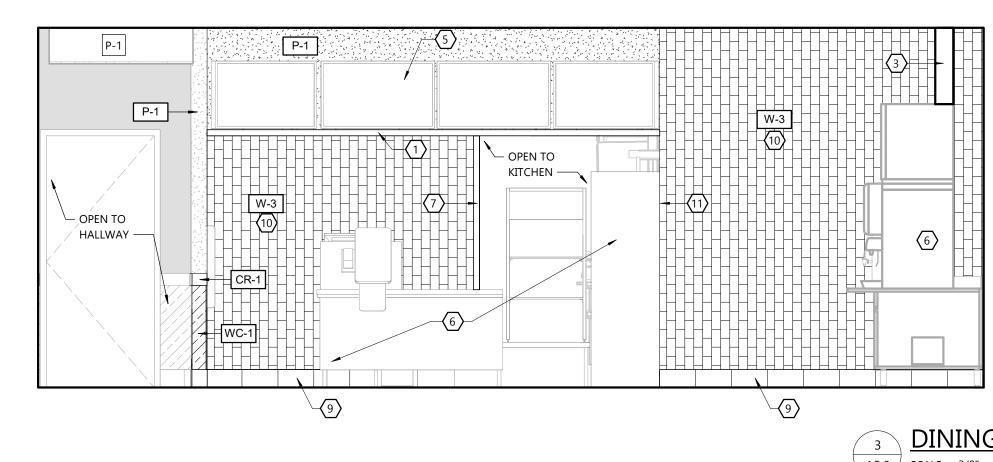
2. REQUIRED SIGNS.

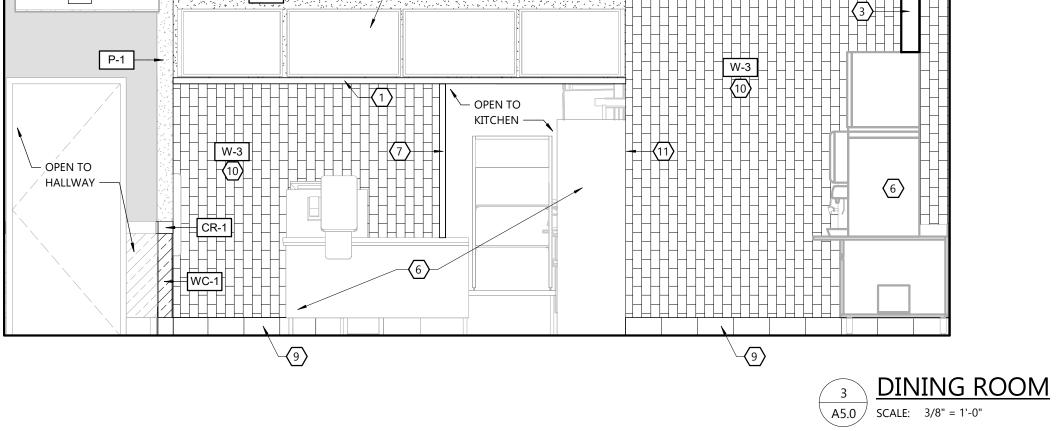
- 5. (4) WALL MOUNTED 43" DIGITAL SCREENS.
- REFER TO THE ELECTRICAL AND VENDOR DRAWINGS.
- 6. NEW AND SALVAGED EQUIPMENT. • REFER TO THE EQUIPMENT PLAN AND SCHEDULE ON SHEET A9.1 AND A9.2.

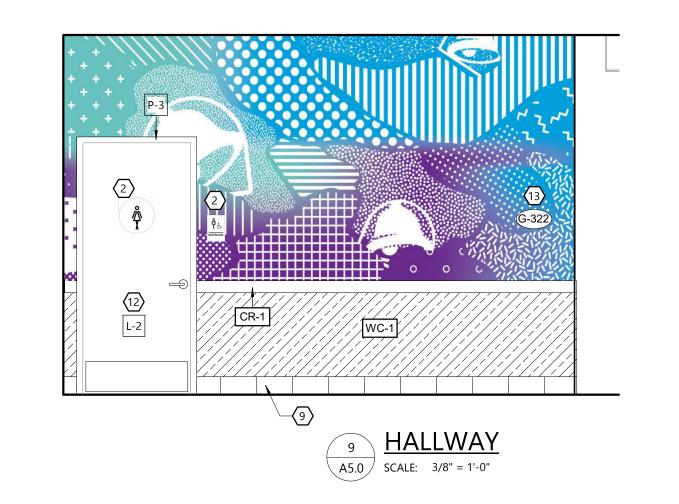
3. STAINLESS STEEL CHASE AS REQUIRED TO HIDE REFRIGERANT LINES.

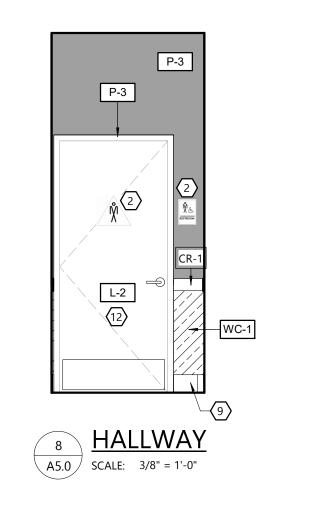
- 7. SS CORNER/ END WALL CHANNEL GUARD, FULL HEIGHT SEE DETAIL 2/A1.1
- 8. NEW ARTWORK PANELS.
- REFER TO THE ARTWORK SCHEDULE ON SHEET A9.1.
- 9. EXISTING BASE TILE TO REMAIN. CLEAN, REPAIR OR REPLACE AS REQUIRED.
- 10. NEW WALL TILE.
- REFER TO THE FINISH SCHEDULE ON SHEET A6.0.
- 11. SCHLUTER WALL TRIM STRIP. SEE DETAIL 1/A1.1
- 12. NEW RESTROOM DOORS WITH L-2 LAMINATE FINISH BOTH SIDES. PROVIDE KICKPLATE ON BOTH SIDES OF DOOR. REUSE EXISTING HARDWARE IF ADA COMPLIANT. DOOR FRAMES TO BE REPAINTED P-3. • REFER TO THE FINISH SCHEDULE ON SHEET A6.0.
- 13. NEW WALL MURAL. SAND WALL TO LEVEL 4 FINISH PRIOR TO INSTALL. • REFER TO THE ARTWORK SCHEDULE ON SHEET A9.1.

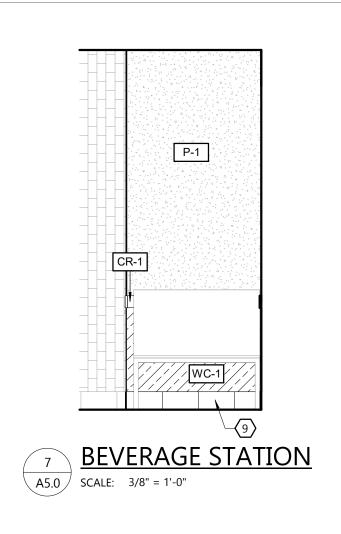


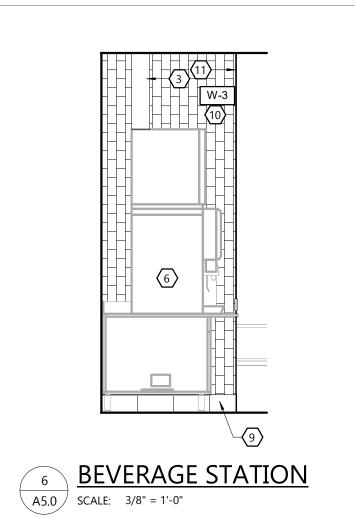


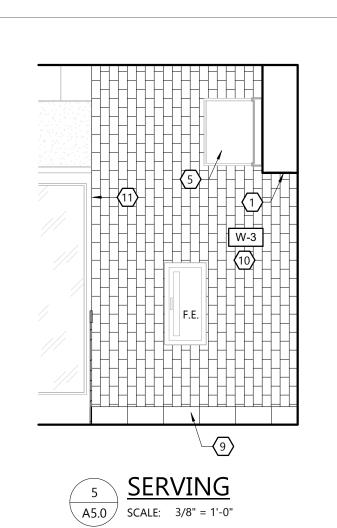












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REMODE

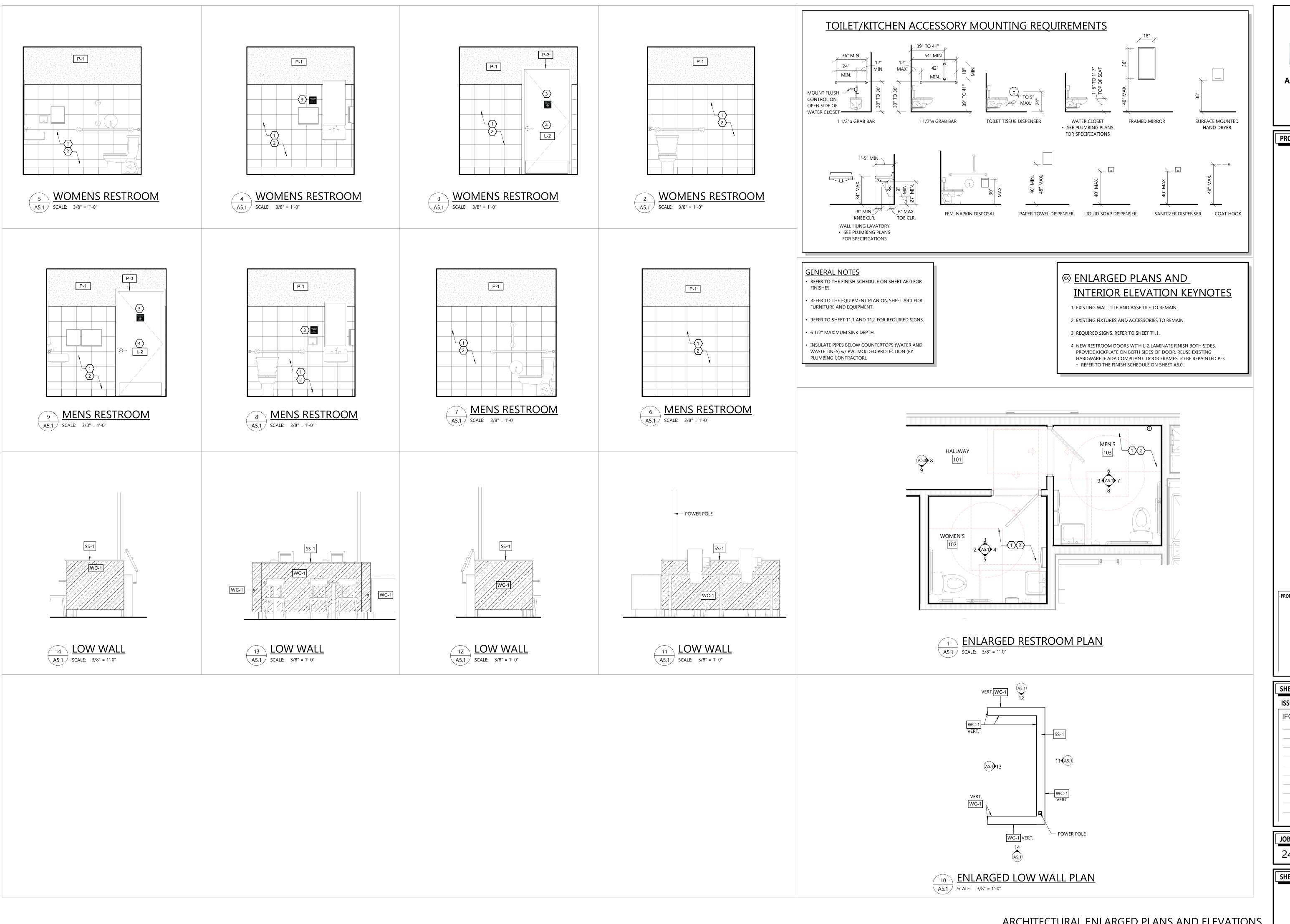
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MAR. 6, 2025

JOB NUMBER 240300000



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- SUND PLYMOUTH, REMODEI

**TAC** 3062

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**SHEET DATES ISSUED FOR CONSTRUCTION** MAR. 6, 2025

JOB NUMBER 240300000

# FINISH NOTES:

- REFER TO INTERIOR ELEVATIONS FOR LOCATIONS OF TILE.
- ALL STAINLESS STEEL WALL PANELS TO BE 18 GA. TYPE 304 WITH #4 SATIN FINISH. PANELS TO
- HAVE UNIFORM FINISH THROUGHOUT PROJECT. ALL MORTAR SHALL BE MIXED WITH WHITE
- SAND TO ENSURE A COLOR CONSISTENT TO THE ORIGINAL DESIGN INTENT.
- PAINT FINISH
- WALLS: EGGSHELL TRIM/BOH/CHAIR RAIL: SEMI-GLOSS
- CEILING: FLAT SEE INTERIOR ELEVATIONS FOR ADDITIONAL WALL FINISH NOTES.

# **JAMES HARDIE**

**CONTACTS** 

- MIKE MAZURK MULTI-FAMILY & COMMERCIAL SALES
- CORPORATE ACCOUNT MANAGER P: (470)589-0548 P: (440) 541-3972 E: michael.mazurk@jameshardie.com E: ttomanek@usg.com

# WESTLAKE ROYAL BUILDING PRODUCTS

TONY YANDELL TERRITORY SALES MANAGER C: (832) 816-4522 E: Tyandell@westlake.com

# **NICHIHA**

BEN DALZIEL NATIONAL BRANDS MANAGER 6465 EAST JOHNS CROSSING, SUITE 250 JOHNS CREEK, GA 30097 C: (404) 432-5866

# WESTERN STATES METAL ROOFING CAMERON BERG

E: bdalziel@nichiha.com

- INSIDE SALES REPRESENTATIVE P: (602) 245-8323
- E: cameron@westernstatesmetalroofing.com

### **SHERWIN WILLIAMS** LENA GARCIA

E: lfyke@mapei.com

NATIONAL ACCOUNT EXECUTIVE C: (714) 404-8212 E: Lena.N.Garcia@sherwin.com

LISA FYKE ARCHITECTURAL REPRESENTATIVE MAPEI CORP P: (909) 247-5324

# <u>USG</u> TRAVIS TOMANEK

BUSINESS DEVELOPMENT MANAGER C: (330) 260-7633 E: danegbers@marlite.com

**MARLITE** 

DAN EGBERS

LX HI-MACS

# **CORIAN** TAYLOR SAUNDERS

DAVID GREENING NATIONAL COMMERCIAL SALES P: (614) 975-6700 E: david.p.greening@dupont.com CODE FINISH GROUP

MANUF

### **CMC (CREATIVE MATERIALS CORP.)** ALLISON PICHE

NATIONAL ACCOUNT SALES REP

E: tsaunders@armstrongceilings.com

**ARMSTRONG** 

P: (717) 723-8081

**DAL-TILE** 

MIRA CLUTTER

C: (714) 213-9500

DAVID SANTIBANEZ

C: (562) 644-4360

<u>SILIKAL</u>

MARK FELD

P: (775) 772-2797

SR. ARCHITECTURAL REP.

E: mira.clutter@daltile.com

NATIONAL ACCOUNTS MANAGER

E: david.santibanez@daltile.com

NATIONAL ACCOUNT SALES REP

E: mfeldman@silikalamerica.com

ELIZABETH MARCON CLIENT SERVICES SUPERVISOR NATIONAL ACCOUNTS MANAGER P: (518) 452-9694 P: (424) 445-9786 D: (518) 713-5395 E: emarcon@lxhausys.com E: apiche@creativematerialscorp.com **TACO BELL TEAM** 

### **WOLF GORDON** P: (800) 207-2967 ext. BELL (2355) ALFREDO ORTIZ E: tacobelltile@creativematerialscorp.com

NATIONAL ACCOUNTS MANAGER P: (718) 391-5452 E: alfredo.ortiz@wolfgordon.com

# RANDELL THRASHER

NATIONAL ACCOUNTS MANAGER C: (205) 213-4619 E: randell.thrasher@forbo.com

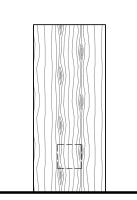
# **WILSONART** LIZ MCMILLAN

NATIONAL ACCOUNTS MANAGER P: (562) 781-4057 E: mcmille@wilsonart.com

DOOR SCHEDULE												
OOR UMBER	DOOR SIZ		THICKNESS	DOOR TYPE	FRAME TYPE	UNDERCUT OR GRILLE (W x H)	DOOR HA		STOPS	CLOSER	PUSH-PULL / KICK	REMARKS
2	3'-0"	7'-0"		WD1	HM1	` '	H1	L3	S2	C3	K1	1,2,3,4,5,6,7,8
3	3'-0"	7'-0"	1 3/4"	WD1	HM1	1" UC	H1	L3	S2	C3	K1	1,2,3,4,5,6,7,8

- 1. PROVIDE NEW HARDWARE AS SHOWN IF EXISTING HARDWARE IS NOT ADA COMPLIANT. 2. MOUNT KICKPLATE ON BOTH SIDES OF DOOR.
- 3. COAT HOOK (BACK OF DOOR) BOBRICK #B-670. 4. MOUNT DOOR CLOSERS ON RESTROOM SIDE ONLY.
- 5. MAXIMUM DOOR OPERATING PRESSURE: 5 LBS INTERIOR. 6. RESTROOM SIGN AND ADA COMPLIANT ACCESSIBILITY SIGNAGE, INCLUDE BRAILLE AS REQUIRED BY
- LOCAL JURISDICTION. 7. ALL HARDWARE SHALL BE US32D U.N.O.

8. EXISTING HM FRAMES TO BE PAINTED. SEE FINISH SCHEDULE THIS SHEET.



# WD1

SOLID CORE WOOD DOOR W/ L-2 LAMINATE FINISH

# **DOOR HARDWARE KEY**

Χ	MANUFACTURER	MODEL
C1	I.D.C.	SERIES 8050
C2	NORTON	UNI7500 H 689
<b>C</b> 3	I.D.C.	652-P

CONTI	NUOUS HINGES	
Χ	MANUFACTURER	MODEL
H2	MONT HARD	TH1-1183HD

EXIT DEVICES						
Χ	MANUFACTURER	MODEL				
E1	MONARCH	#18R				
E2	SARGENT	8810 IN 32D				
E3	SARGENT	54-8410x100x862				
E4	SARGENT	54-8504x862				

	~	
Χ	MANUFACTURER	MODEL
H1	MCKINNEY	1 1/2 PR #TA2731, 4-1/2" x 4

LOCKSETS						
Χ	MANUFACTURER	MODEL				
L1	SCHLAGE	FE595 - 980510				
L2	FALCON	C953-7 OR C987 AS REQ.				
L3	FALCON	"T" SERIES - PRIVACY SET				
L4	H.E.S.	9500 SERIES WITH 2005				

PUSH-PULL/KICKPLATES						
Χ	MANUFACTURER	MODEL				
K1		STAINLESS STEEL 10"x.50x2" L.T.D.W.				
K2		40"Wx48" 16 GA. SS PLATE				
PP3	ROCKWOOD	PUSH-PULL COMBO				

STOPS		
Χ	MANUFACTURER	MODEL
<b>S</b> 2	ROCKWOOD WALL STOP	409

WEATI	WEATHERSTRIP, SWEEPS, & THRESHOLDS					
X MANUFACTURER MODEL		MODEL				
SW1	SW1 VISTA 231 STD NGP 101VA					
SW2		STD. ADJUSTABLE DOOR SWEEP PER MFR.				
T1	PEMKO	1715AK AS REQUIRED				
T2	T2 ACCESSIBLE ALUMINUM THRESHOLD BY DOO					
WS1 PEMKO 88 X REG.		88 X REG.				

R	MODEL		•		
	#18R	I,	GROUT		
	0010 IN 22D	- 1	dicor		

EAT DEVICES					
MANUFACTURER	MODEL				
MONARCH	#18R				
SARGENT	8810 IN 32D				
SARGENT	54-8410x100x862				
SARGENT	54-8504x862				
	MANUFACTURER MONARCH SARGENT SARGENT				

HINGES					
Χ	MANUFACTURER	MODEL			
H1	MCKINNEY	1 1/2 PR #TA2731, 4-1/2" x 4-1/2"			

	MANUFACTURER:
AS REQ.	CURRIES (APPROVED EQUIVALENT:
ACY SET	CONSTRUCTION:
	• FRAMES

PUSH-PULL/KICKPLATES						
Χ	MANUFACTURER	MODEL				
K1		STAINLESS STEEL 10"x.50x2" L.T.D.W.				
K2		40"Wx48" 16 GA. SS PLATE				
PP3	ROCKWOOD	PUSH-PULL COMBO				

STOPS		
Χ	MANUFACTURER	MODEL
S2	ROCKWOOD WALL STOP	409

SOLID CORE	<b>WOOD DOOR</b>	SPECIFICATIONS:

# MANUFACTURER: MARSHFIELD DOOR SYSTEMS, INC.

### CONSTRUCTION: • 5 PLY CONSTRUCTION w/ STILES AND RAILS BONDED TO CORE

- PARTICLE BOARD CORE OR STRUCTURAL COMPOSITE LUMBER CORE PER MANUFACTURER RECOMMENDATIONS w/ HARDWOOD EDGES TO MATCH
- FACE SPECIES AS REQ'D FOR CUTOUTS • MINERAL CORE w/ HARDWOOD EDGES TO MATCH FACE SPECIES AS REQ'D
- FOR FIRE RATED DOORS RED OAK, PLAIN SLICED WDMA CUSTOM GRADE w/ GRADE A FACES
- STANDARD DUTY DOOR UNLESS NOTED OTHERWISE VENEER LEAVES TO BE BOOK MATCH, RUNNING MATCH PAIR AND SET
- MATCH @ DOORS IN SAME OPENING OR FRAME
- PROVIDE BLOCKING AS REQ'D TO ELIMINATE THROUGH BOLTING OF ALL HARDWARE
- PROVIDE MANUF. STANDARD FLUSH WOOD BEAD AT LITES & GRILLES
- (WDMA OPTION: M1) ALL RATED DOORS ARE TO BE CATEGORY A, POSITIVE PRESSURE, UL10C

# WARRANTY:

 FINISH: L-2 LAMINATE LIFETIME

CEILING FIN	NISHES					
CL-1	FOH ACOUSTIC CEILING TILE	USG	FROST, CLIMAPLUS PERFORMANCE,	#205 FLAT BLACK	24"x24"	GRID SYSTEM - USG DONN BRAND DX/DXL 15/16 TEE SYSTEM, INTERMEDIATE DUTY GRID TO MATCH TILE COLOR
L-2	BOH ACOUSTIC CEILING TILE	USG	CLEAN ROOM ACOUSTICAL PANELS, CLASS 100 SMOOTH TEXTURE, CLIMAPLUS PERFORMANCE, SQ EDGE	#050 WHITE	24" x 48"	GRID SYSTEM - USG DONN BRAND DX/DXL 15/16 TEE SYSTEM, INTERMEDIATE DUTY #050 WHITE
CL-2ALT	BOH ACOUSTIC CEILING TILE	ARMSTRONG	KITCHEN ZONE, SMOOTH TEXTURE, SQ EDGE	WHITE	24" x 48"	GRID SYSTEM - ARMSTRONG PRELUDE XL 15/16" EXPOSED TEE, SQUARE EDGE WITH CLEANASSURE
L-3	GYPSUM BOARD		GYPSUM BOARD	PAINT WITH FLAT FINISH		FRAME WITH 2x6 STUDS @ 16" O.C.
ORNER GI	JARDS					
G-1	CORNER GUARD	C.S. GROUP	ACROVYN VA SERIES	VA-034N #934 PEARL	3/4"x3/4"	FOR PAINT MATCH P-1
CG-2	CORNER GUARD	C.S. GROUP	ACROVYN VA SERIES	VA-034N #262 DRIFTWOOD	3/4"x3/4"	FOR PAINT MATCH CR-1 AND WC-1
HAIR RAIL						
:R-1	CHAIR RAIL		PAINTED	PAINT P-5	3 1/2" x 3/4"	
LOOR BAS	E					
i-1	BOH BASE TILE	CREATIVE MATERIALS	QUARRY	MATCH EXISTING	6"x6"	MATCH EXISTING, FOR REPLACEMENT
-2	FOH BASE TILE	CREATIVE MATERIALS	MOTIF GREY	GREY	6"x12"	USE WITH GR-3
-2ALT	FOH BASE TILE	DALTILE	VOLUME 1.0 - TRUFFLE	VL64 MATTE	6"x12"	USE WITH GR-3
-3	ACRYLIC FLOOR SYSTEM	SILIKAL	ACRYLIC RESIN	QUARTZ BLEND #4	6" HIGH	MATCH EXISTING, FOR REPLACEMENT
-4	FOH BASE TILE	DALTILE	TERRA ANTIQUA	ROSSO TA-02	6" HIGH	MATCH EXISTING, FOR REPLACEMENT
LOOR FINI	ISHES					
-1		CREATIVE MATERIALS	QUARRY	MATCH EXISTING	6" x 6"	MATCH EXISTING, FOR REPLACEMENT
-2	FOH FLOOR TILE	CREATIVE MATERIALS	MOTIF GREY	GREY	12"x12"	USE WITH GR-3
-2ALT		DALTILE	VOLUME 1.0 - TRUFFLE	VL64 MATTE	12"x12"	USE WITH GR-3
-3		SILIKAL	ACRYLIC RESIN	QUARTZ BLEND #4		MATCH EXISTING, FOR REPLACEMENT
-3 -4		DALTILE	TERRA ANTIQUA	ROSSO TA-02	18" x 18"	MATCH EXISTING, FOR REPLACEMENT
			-			
	ATE/VINYL	1	Taxaa-11 aug-11 a-			
RP-1	FIBERGLASS REINFORCED PANEL	MARLITE	SMOOTH SURFACE	S100 S/2/S WHITE	4'x9'x.90	COORDINATE ALL TRIM PIECES WITH FRP MFR
RP-1ALT	FIBERGLASS REINFORCED PANEL	MARLITE	PEBBLE FINISH	P 100 WHITE	4'x9'x.90	COORDINATE ALL TRIM PIECES WITH FRP MFR
-1	LAMINATE	WILSONART	4783K - FINISH 7 (TEXTURED GLOSS)	WHITE TIGRIS		
-1ALT	LAMINATE	WILSONART	4783K - FINISH 60 (MATTE)	WHITE TIGRIS		
-2	LAMINATE	WILSONART	Y0664K - FINISH 12 (SOFTGRAIN)	MOCHA ASH		VERTICAL GRADE PRODUCT CODE #362 IS .028" HORIZONTAL GRADE PRODUCT CODE #372 IS .039"
NC-1	WALL PROTECTION	FORBO	MARMOLEUM COCOA	3582 EARL GREY CHOCOLATE		
ИЕТAL TRA	NCITION					
MT-1	METAL	SCHLUTER	JOLLY	SATIN ANODIZED ALUMINUM	3/8"	VERTICAL TRIM AT WALL TILE
	INC. / C	JOHESTER	10 EE	S. VIII VIII O DIELE D'ALCOMINACIM	3/0	VERTICAL PROPERTY WILL FILE
OLID SURI						
S-1	SOLID SURFACE	CORIAN	LAVA ROCK	LAVA ROCK		COUNTERTOPS, TRASH RECEPTACLE, CONDIMENT CART, ROUND TABLES, WALL CAP WINDOW SILLS
S-1ALT	SOLID SURFACE	LX HI-MACS	PIETRA COLLECTION	OMBRA Z207		COUNTERTOPS, TRASH RECEPTACLE, CONDIMENT CART, ROUND TABLES, WALL CAP WINDOW SILLS
					I	WINDOW SILES
/ALL PAIN		CUEDATA MELIANA	LCU/7024	CD ADI E MUNTE		
-1	WALL PAINT	SHERWIN WILLIAMS	SW7021	SIMPLE WHITE		
-2	WALL PAINT	SHERWIN WILLIAMS	TB2603C	PURPLE		
-3	WALL PAINT	SHERWIN WILLIAMS	SW7076	CYBER SPACE		
-4	WALL PAINT	SHERWIN WILLIAMS	SW7005	PURE WHITE		
-5	WALL PAINT	SHERWIN WILLIAMS	SW7043	WORLDLY GRAY		
/ALL TILE	_					
V-1	RR WALL TILE	CREATIVE MATERIALS	FORM	ICE DEMO MIX	8"x8"	USE WITH GR-3
/-1ALT	RR WALL TILE	DALTILE	MARAZZI - MATTE	D-SEGNI DECO MIX	8"x8"	USE WITH GR-3
<i>I</i> -2	RR WALL TILE	CREATIVE MATERIALS	FORM	ICE	8"x8"	USE WITH GR-3
/-2ALT	RR WALL TILE	DALTILE	QUARTERRO - MATTE	TALCO-QU01	8"x8"	USE WITH GR-3
<b>/</b> -3	FOH WALL TILE	CREATIVE MATERIALS	AGELESS GREY 01	GLOSSY	3"x6"	INSTALLED VERTICALLY, RUNNING BOND INSTALLATION, 50% OFFSET, USE WITH GR-4
	-	•				·
'DOLLT				#5009 GRAY	1/8" JOINT WIDTH	
	GROUT	MADELLII TDACOLOD DILIC FA				
GROUT GR-1	GROUT	MAPELULTRACOLOR PLUS FA	<del></del>			
GR-1 GR-2	GROUT	MAPEI ULTRACOLOR PLUS FA		#5002 PEWTER	1/8" JOINT WIDTH	
GR-1			  			 

**FINISH SCHEDULE** 

COLOR

SIZE

**NOTES** 

STYLE

# **HOLLOW METAL FRAME SPECIFICATIONS:**

NT: STEELCRAFT)

'M' PROFILE w/ CONT. WELD FACE SEAMS AT FULL WIDTH OF JAMB

 MIN. 16 ga. @ INTERIOR FRAMES • MIN. 14 ga. @ EXTERIOR FRAMES w/ URETHANE FOAM INSUL.

 GENERAL REQUIREMENTS ALL EXTERIOR DOORS AND FRAMES TO BE GALVANIZED

 ALL DOORS & FRAMES TO HAVE BAKED ON PRIMER FINISH ALL DOORS & FRAMES TO BE REINFORCED AND PREPARED FOR HARDWARE

ALL REINFORCEMENT TO BE MIN. 12 ga.

 PROVIDE WELDED-IN BASE ANCHORS PROVIDE (3) SILENCERS PER JAMB @ ALL METAL DOOR FRAMES

PROVIDE BITUMINOUS COATING ON INT. FACE OF FRAMES IN MASONRY

PROVIDE METAL FRAME FOR LITES & GRILLES

PAINT LITE FRAMES TO MATCH DOOR FRAMES

# ALL DOORS SHALL MEET ADA REQUIREMENTS

**GENERAL DOOR AND FRAME NOTES:** 

- ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT VERIFY FRAME DEPTHS W/ WALL THICKNESS. PROVIDE WRAP AROUND FRAMES AT
- PROVIDE SEALANT BOTH SIDES OF DOOR FRAMES, WHERE DIFFERENT MATERIALS
- MEET AND FOR WEATHER TIGHTNESS • GENERAL CONTRACTOR TO VERIFY SIZE OF ALL EQUIPMENT (ELECTRICAL,
- MECHANICAL, KITCHEN, LAUNDRY, ETC.) SELECTED FOR THE PROJECT TO DETERMINE THAT ALL DOORS (INCLUDING PATH OF TRAVEL) ARE OF ADEQUATE
- SIZE TO ACCOMMODATE INSTALLATION AND REPLACEMENT VERIFY ALL ROUGH OPENING REQUIREMENTS WITH MANUFACTURERS DRAWINGS
- SEE SHEET A0.1 FOR GENERAL BUILDING SPECIFICATIONS DOOR, FRAME AND HARDWARE SCHEDULE TO BE PROVIDED BY HARDWARE
- SUPPLIER FOR A/E REVIEW NUMBERING SYSTEM AND NOMENCLATURE SHALL MATCH THOSE FOUND IN CONSTRUCTION DOCUMENTS
- HARDWARE SUPPLIER IS RESPONSIBLE FOR COORDINATING KEYING REQUIREMENTS
- WITH OWNER CONTRACTOR TO PROVIDE PRODUCTS AND SYSTEMS COMPLETE WITH ALL
- ACCESSORIES, TRIM, FINISH, FASTENERS AND OTHER ITEMS NEEDED FOR A
- COMPLETE INSTALLATION AND INTENDED USE AND EFFECT • DOOR UNDERCUTS, WHERE NOTED, SHALL BE 1" FROM FINISHED FLOOR (TYP.)

**ISSUED FOR CONSTRUCTION** MAR. 6, 2025

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SHEET DATES

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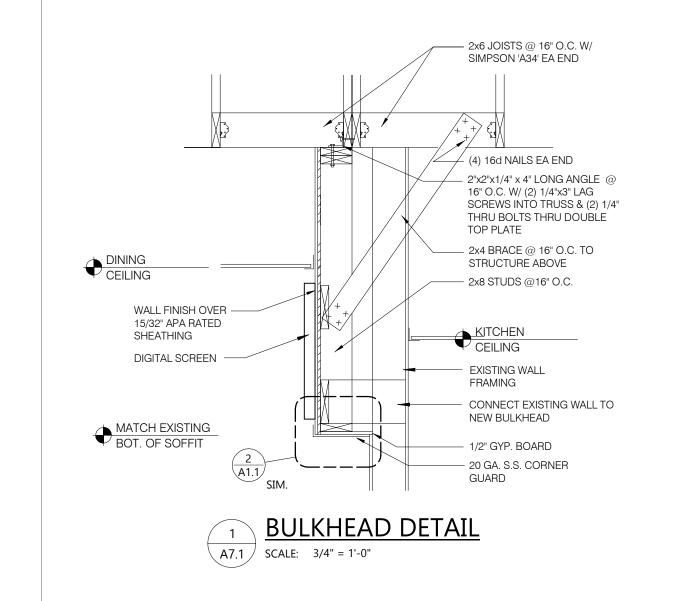
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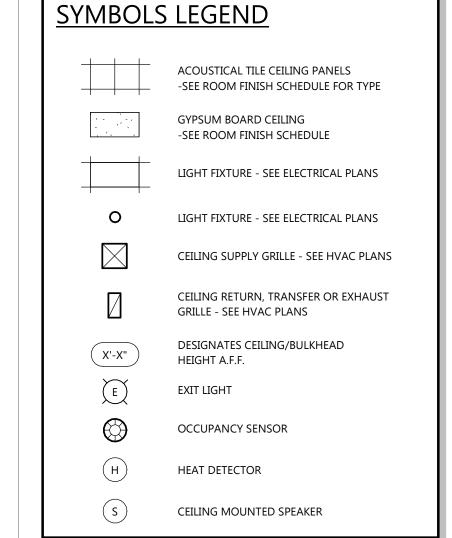
PROJECT INFORMATION

REMODI

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**JOB NUMBER** 240300000





# **RCP GENERAL NOTES**

• REFER TO THE FINISH SCHEDULE (SHEET A6.0) FOR CEILING FINISHES.

 ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE

ALIGNMENT. • ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0"

ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY

ECCENTRIC LOADS, 2° MAX. • INSTALL SYSTEM AFTER MAJOR ABOVE CEILING WORK IS COMPLETE.

COORDINATE LOCATIONS OF HANGERS WITH RELATED WORK.

**GYPSUM BOARD CEILING:** SUBSTRATE SHALL BE 1/2" THICK GYP BD.

• ACOUSTICAL SEALANT: APPLY TO GYP. BD. PANELS. GYP. BD. FINISHING AND DECORATING: SMOOTH FINISH

ELECTRICAL: REFER TO THE ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES AND

 CEILING MOUNTED OUTLETS & PLATES SHALL BE PAINTED TO MATCH CEILING COLOR.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR

ALL PERMITS ASSOCIATED WITH THEIR PORTION OF WORK. CEILING MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH CEILING

1. EXISTING EXTERIOR CANOPY.

REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.

3. (4) WALL MOUNTED 43" DIGITAL SCREENS.

4. NEW MENU BOARD BULKHEAD. PAINT. MATCH EXISTING HEIGHT. SEE DETAIL 1/A7.1

DEVICES, ETC. IN SAME LOCATIONS.

REFER TO THE ELECTRICAL DRAWINGS.

• REFER TO THE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.

8. NEW POWER POLE TO ROUTE POWER AND DATA TO LOW WALL. REFER TO THE ELECTRICAL DRAWINGS.

9. STAINLESS STEEL CHASE AS REQUIRED TO HIDE REFRIGERANT LINES.

10. EXISTING CELING TILES, GRID AND HVAC GRILLES AND DIFFUSERS TO

• REFER TO THE FINISH SCHEDULE ON SHEET A6.0.

12. NEW LED LIGHT FIXTURES.

14. EXISTING GYP. BOARD CEILING. PAINT.

# **⊗** RCP KEYNOTES

REFER TO THE EXTERIOR ELEVATIONS ON SHEET A2.0 AND A2.1.

2. EXISTING EXTERIOR CANOPY.

NEW LED BULBS SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR.

REFER TO THE VENDOR AND ELECTRICAL DRAWINGS.

5. REINSTALL SALVAGED SPEAKERS, SECURITY EQUIPMENT, EGRESS LIGHTING

6. PENDANT LIGHT -'CENTER ON TABLE BELOW. BOTTOM OF PENDANT @ 80".

7. NEW DECORATIVE WALL SCONCE/WALL PACK OR EMERGRNCY LIGHT

11. NEW CEILING TILES IN EXISTING SUSPENDED GRID SYSTEM.

• REFER TO THE ELECTRICAL DRAWINGS.

13. EXISTING GRILLES AND DIFFUSERS. CLEAN/REPAIR/PAINT OR REPLACE AS

• REFER TO THE FINISH SCHEDULE ON SHEET A6.0.

REMODE

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**PROJECT INFORMATION** 

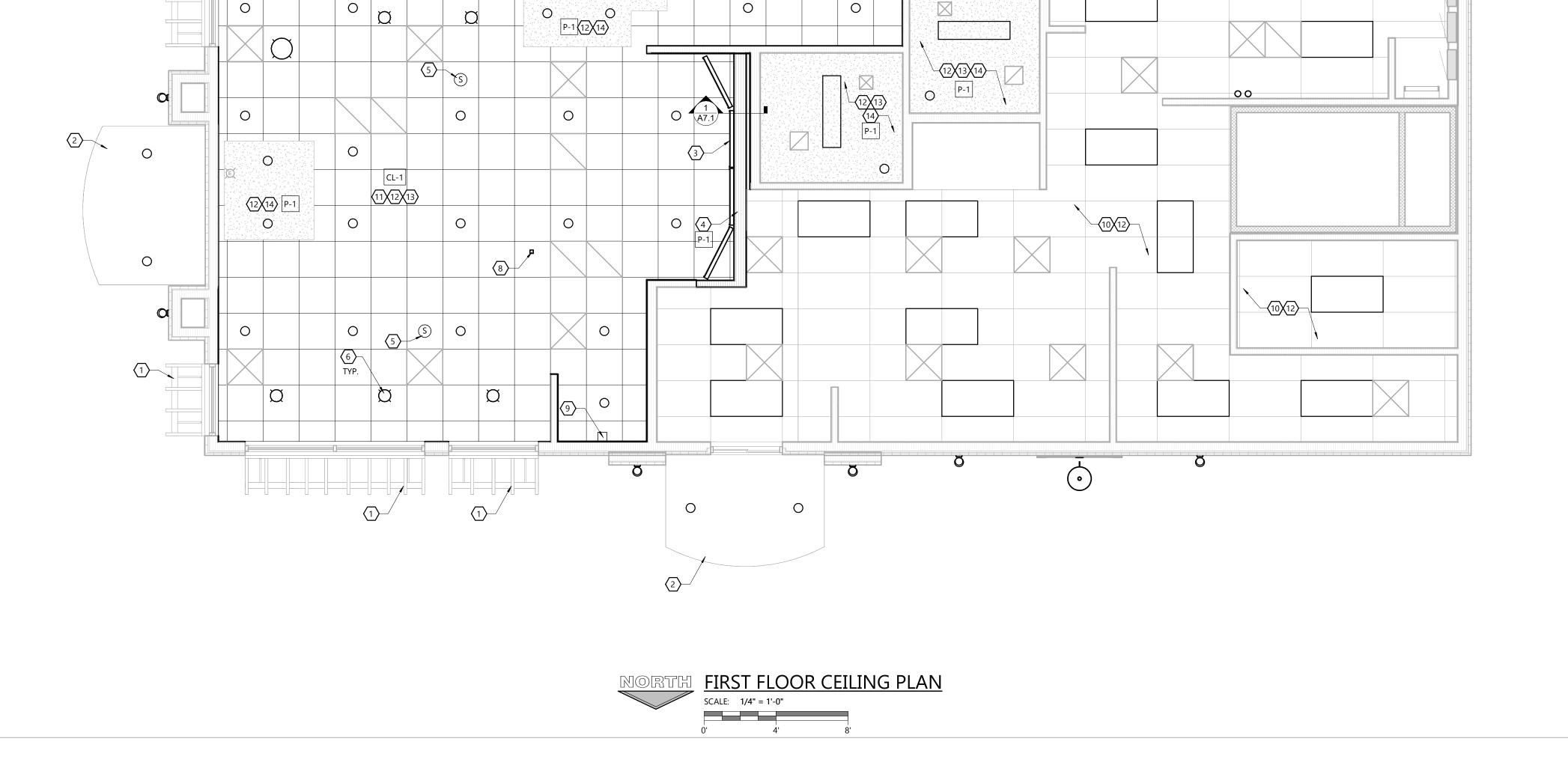
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**SHEET DATES** 

**ISSUED FOR CONSTRUCTION** MAR. 6, 2025

**JOB NUMBER** 240300000



# **FLOORING LEGEND** EXISTING EPOXY FLOORING AND BASE V V V EXISTING TILE FLOORING AND BASE SYMBOL LEGEND

- ACCESSORIES, TRIM, FINISH, FASTENERS, AND OTHER REQ'D ITEMS NEEDED FOR A COMPLETE INSTALLATION AS INDICATED
- FINISHES.



PLUMBING FLOOR DRAIN OR CLEANOUT SEE PLUMBING DRAWINGS

# **GENERAL NOTES**

- REFERENCES TO PRODUCTS OR SYSTEMS HERIN BY NAME, MAKE, OR CATALOG NUMBER IS INTENDED TO ESTABLISH A MIN. STANDARD QUALITY, AND IS NOT MEANT TO LIMIT COMPETITION IN ANY FASHION. APPROVED EQUIVALENTS SHALL BE ACCEPTED AFTER ARCHITECT APPROVAL
- CONTRACTORS SHALL PROVIDE PRODUCTS COMPLETE w/ ALL
- REFER TO THE FINISH SCHEDULE AND INTERIOR WALL TYPES FOR

# **ROOM FINISH NOTES**

### **WALLS & CEILINGS**

 ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE w/ THE GYPSUM CONSTRUCTION HANDBOOK. LEVEL OF FINISH AS PER GA-214 ARE AS FOLLOWS: LEVEL 1: INTERIOR AND EXTERIOR WALL: CONCEALED AND

> ABOVE CEILINGS LEVEL 3: ALL EXPOSED BELOW CEILING AREAS WITH HEAVY OR MEDIUM TEXTURE. LEVEL 4: ALL EXPOSED BELOW CEILING AREAS WITH FLAT PAINT, SMOOTH OR LIGHT TEXTURE OR WALL COVERINGS UNLESS OTHERWISE NOTED.

USE APPROPRIATE PRIMER FOR SUBSTRATE

SHIELD TILE BACKER BOARD AS REQUIRED

LEVEL 5: WHERE NOTED

 ALL GYPSUM BOARD BULKHEADS SHALL BE PAINTED • WHERE PORCELAIN TILE IS APPLIED, SURFACE SHOULD BE 5/8" DENS-

 HOLLOW METAL FRAMES SHOULD RECEIVE 1 COAT PRIMER & 2 COATS FINISH PAINT

# **FLOORS**

- FLOORING CONTRACTOR SHALL PREPARE FLOOR SURFACES RECEIVING NEW FINISHES AS REQ'D FOR A SMOOTH AND LEVEL SURFACE PRIOR TO INSTALLING NEW FINISHES
- USE MFR RECOMMENDED FLOORING PREP AND ADHESIVE FLOORING CONTRACTOR TO PROVIDE TRANSITION STRIPS AND EDGING AT ALL MATERIAL TRANSITIONS - SEE FINISH SCHEDULE AND SUBMIT STYLES TO BE APPROVED BY DESIGNER.

 TILE JOINTS (U.N.O.) 1. QUARRY FLOOR TILE: 1/4" 2. PORCELAIN FLOOR TILE: 3/16" 3. GLAZED WALL TILE: 1/8"

4. BASE, TRIM AND ACCESSORIES: MATCH ADJOINING TILE

- TILE INSTALLATIONS REQUIRE MFR'S STANDARD MOLDED CORNERS AT BOTH INSIDE AND OUTSIDE CORNERS.
- ALL BASE TILE SHALL BE SANITARY COVE STYLE w/ 3/8" MIN RADIUS SAND CONVENTIONAL GROUT.
- PROVIDE CLEAR SILICONE CAULK WHERE FRP STOPS AT TOP OF COVE
- TILE CHIPPING AROUND CORE DRILL HOLES FOR SEATING FIXTURE NOT BE ACCEPTED.

# 

- 1. EXISTING FLOORING AND BASE TILE TO REMAIN. REPLACE DAMAGED TILES AS
- NEEDED. VERIFY SCOPE WITH OWNER.

2. EXISTING EPOXY FLOORING AND BASE TO REMAIN. REPAIR OR REPLACE AS

NEEDED TO MATCH EXISTING TILE. REGROUT WHERE NEEDED. VERIFY SCOPE REFER TO THE PLUMBING DRAWINGS FOR FLOOR DRAIN SCOPE OF WORK.

REFER TO THE PLUMBING DRAWINGS FOR FLOOR DRAIN SCOPE OF WORK.

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**SHEET DATES ISSUED FOR CONSTRUCTION** 

MAR. 6, 2025

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PROJECT INFORMATION

REMODE

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JOB NUMBER

SHEET NUMBER

240300000

FIRST FLOOR FINISH PLAN

SCALE: 1/4" = 1'-0"

DINING 100

ARTWORK SCHEDULE										
TAG	QUANTITY	NAME	FAMILY	FRAME OR MURAL	SIZES	LOCATION				
G-280	1	OVERLAP BELLS	В	F01	28" x 40"	SEE SHEET A5.0				
G-281	1	OVERLAP BELLS	В	F01	28" x 40"	SEE SHEET A5.0				
G-258	1	ANSWER IS TACOS	В	F01	28" x 40"	SEE SHEET A5.0				
G-282	1	OVERLAP BELLS	В	F01	28" x 40"	SEE SHEET A5.0				
G-322	1	CAMO-PATTERN-PURPLE	В	M01 - DINING MURAL	14'-6" x 7'-0"	SEE SHEET A5.0				
G-510	1	CAMO-PATTERN-PURPLE	В	M02	3'-9" x 7'-10"	SEE SHEET A2.0				
G-511	1	CAMO-PATTERN-PURPLE	В	M02	3'-9" x 7'-10"	SEE SHEET A2.1				

ARTWORK NOTE: VERIFY SIZES IN FIELD.

NO.	QTY	ITEM DESCRIPTION	NOTES	
T FURNITURE F	,	JRNITURE VENDOR U.N.O.		
D-689	TALL PICK UP SHELF			
D-690	1	POS COUNTER SYSTEM		
D-691	1	POS COUNTER SHROUD		
D-692	1	FRUITISTA SHROUD	FULL HEIGHT SHROUD TO COVER FRUITISTA AND CART	
T-101e	1	OVAL SURFBOARD TABLE - 30 X 60 X 42 - 6 TOP	TOP ONLY, EXISTING POSTS TO REMAIN	
T-201e	10	BARREL BARSTOOL - 29" PURPLE WOOD SEAT		
T-304b	1	WOOD BENCH SEAT - 42"		
T-306b	1 WOOD BENCH SEAT - 60"			
T-309b	2	WOOD BENCH SEAT DOUBLE- 60"		
T-404e	1	LAMINATE TABLE - 24" X 18" X 30" - 2 TOP		
T-406e	3 LAMINATE TABLE ADA - 24" X 40" X 30" - 4 TOP		TOP ONLY, EXISTING POSTS TO REMAIN	
T-410e	B LAMINATE TABLE - 30" X 60" X 30" - 4 TOP		TOP ONLY, EXISTING POSTS TO REMAIN	
T-412e	2 SOLID SURFACE HIGH TABLE- 30" DIA.		TOP ONLY, EXISTING POSTS TO REMAIN	
T-620e	1 CONDIMENT COUNTER - RECTANGLE			
T-706e	1	WASTE ENCLOSURE - SINGLE		
T-708e	1	WASTE ENCLOSURE - DOUBLE		
T-801e	1	KIOSK 1/2 TOWER	VERIFY SIZE IN FIELD	
T-901e	11	CHAIR - LAMINATE SEAT		
T-905	1	POWER POLE		

FURNITURE NOTE: VERIFY TABLE SIZES IN FIELD.

# 

1. WALL MOUNTED DIGITAL BOARDS ABOVE. REFER TO THE VENDOR AND ELECTRICAL DRAWINGS..

2. NEW ARTWORK. REFER TO THE ARTWORK SCHEDULE THIS SHEET.

3. ACCESSIBLE TABLE AS INDICATED BY CLEARANCE MARKER LABEL ON TABLE

4. NEW AND SALVAGED EQUIPMENT.REFER TO THE EQUIPMENT SCHEDULE ON SHEET A9.2.

REFER TO THE FURNITURE SCHEDULE THIS SHEET.

6. NEW BENCH SEATING. VERIFY SIZES NEEDED WITH EXISTING LOW WALL.

7. CUSTOM TABLE SIZE BY VENDOR.

5. NEW FURNITURE BY VENDOR.

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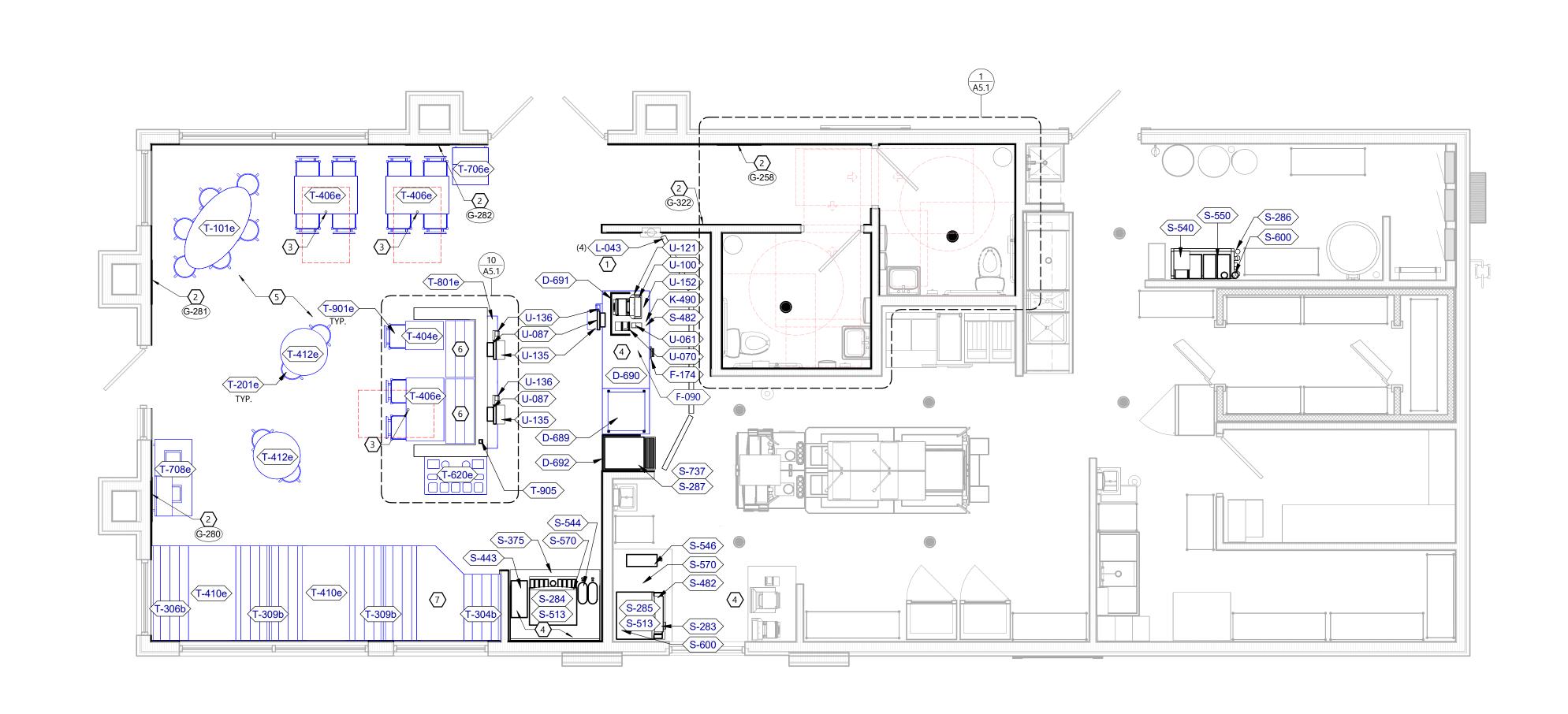
PROJECT INFORMATION

**TAC** 3062

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**SHEET DATES** ISSUED FOR CONSTRUCTION MAR. 6, 2025

JOB NUMBER 240300000



EQUIPMENT SCHEDULE									
NO.	QTY	ITEM DESCRIPTION	MFR & MODEL NUMBER	ORDERED BY	INSTALLED BY	NOTES			
OFFICE/EMP	LOYEE/ML	JSIC/MISC.							
-090	1	UPS (UN-INTERRUPTIBLE POWER SUPPLY)	-	-	SSP	SALVAGED			
-174	1	DUAL DEPOSIT SAFE	CT4-2CHANGE SERIES SMART SAFE	OWNER	MFR	PROVIDE POWER			
WORKSTATI	ONS/SHEL	LVING/CARTS							
(-490	1	SHELVING, 18x24x24	SPG #WST440Y	OWNER	G.C.	GOLD BOND, 2-TIER, POST STYLE, USED FOR FRONT COUNTER			
LIGHTING/SI	GNAGE/M	1ENUBOARD		<u> </u>					
-043	4	DIGITAL SCREEN	STRATACACHE, LG 43" DISPLAY	OWNER	OWNERS IT TEAM	W/ WALL MOUNTED BRACKETS			
SERVING									
5-283	1	DRINK STAGER WITH STRAW HOLDER	SPG #WST788E	OWNER	G.C.	SALVAGED - 22.5"X6", DRINK STAGER, GREY BOND, STRAW HOLDER			
5-284	1	BEVERAGE DISPENSER - SELF-SERVE	CORNELIUS 611057625	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-285	1	BEVERAGE DISPENSER - DRIVE THRU	SERVEND	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-286	1	WATER FILTER SYSTEM	SHURFLO	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-287	1	FBD TABLE 20.5" x 34.1"	FBD #563	OWNER	G.C.				
5-375	1	DRINK STATION	CARTER-HOFFMAN	OWNER	G.C.	S/S, INSULATED DRAIN TROUGH, WEIGHT RATED, VERIFY SIZE IN FIELD			
5-443	1	STRAW & LID DISPENSER	CAL-MIL ADA TB103	OWNER	G.C.	SALVAGED - 18-1/8"X10-1/4"X23-3/8" 3 SECTION BLACK INCLUDES: 1/8" REMOVABLE FRONT & BACK PANEL			
5-482	2	CUP DISPENSER	A.J. ANTUNES #DACS30	OWNER	G.C.				
5-513	2	ICE MAKER	MANITOWOC	OWNER	G.C.	PLACED ON TOP OF DRINK MACHINES, W ROOF CONDENSERS HOSHIZAKI KMS-1401MU, FRANCHISEES CAN USE HOSHIZAKI KMS-1230			
5-540	1	PEPSI BOOSTER TANK	-	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-544	2	ICE TEA URN	BUNN/TDO-N-3.5	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-546	1	ICED TEA BREWER	TETLEY TB3Q	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-550	1	BAG-IN-BOX SYRUP RACK	3 WIRE	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-570	2	CARBONATOR	CORNELIUS/REMCOR	OWNER	PEPSI	SALVAGED			
5-600	4	BUNDLED SYRUP LINES	PEPSI	OWNER	PEPSI	G.C. TO COORDINATE INSTALL			
5-737	1	FROZEN BEVERAGE DISPENSER	FBD #12-7361-0014	OWNER	OWNER	SALVAGED - 20.3"X32.4"X34" SELF CONTAINED 220V 30 AMP 3 BARREL 773 WITH HIGH OVERRUN			
J SECURITY/C	OMM./FIR	RE PROT./POS							
J-061	1	CREDIT CARD READER	VERIFONE	OWNER	OWNERS IT TEAM	SALVAGED			
J-070	1	RECEIPT PRINTER	EPSON	OWNER	OWNERS IT TEAM	SALVAGED			
J-087	3	KIOSK TABLET BRACKET & BRACKET COVER	230861 ELO BRACKET, 230862 ELO BRACKET COVER	OWNER	OWNERS IT TEAM	(2) SALVAGED			
J-100	1	POS/ORDER ENTRY TERMINAL	-	OWNER	OWNERS IT TEAM	SALVAGED			
J-121	1	CASH DRAWER BRACKETS	#SU186075Y	OWNER	OWNERS IT TEAM	SALVAGED			
J-135	3	KIOSK TABLET	PAR TECH INC	OWNER	OWNERS IT TEAM	(2) SALVAGED			
J-136	3	VERIFONE (CREDIT CARD MACHINE	PAR TECH INC	OWNER	OWNERS IT TEAM	(2) SALVAGED			
J-152	1	CASH DRAWER	IBM, NCR & PAR	OWNER	OWNERS IT TEAM	SALVAGED			



PROJECT INFORMATION

MIDTERM REMODEL FOR: **BELL - SUNDANC**EY WAY • PLYMOUTH, WI 5307

PROFESSIONAL SEAL

ISSUED FOR CONSTRUCTION

IFC MAR. 6, 2025

JOB NUMBER 24030000

SHEET NUMBER

A9.2

### **DIVISION 22 PLUMBING**

### 22 05 00 BASIC PLUMBING REQUIREMENTS

- A. SEE DIVISION 00 PROCUREMENT AND CONTRACTING AND DIVISION 01 GENERAL REQUIREMENT
- FOR ADDITIONAL REQUIREMENTS. B. PLUMBING CONTRACTOR SHALL VERIFY REQUIREMENTS FOR TEMPORARY WATER WITH GENERAL CONTRACTOR AND INCLUDE IN HIS SCOPE OF WORK WHEN DIRECTED BY G.C.. INSTALL IN ACCORDANCE WITH ALL CODE AND OSHA REQUIREMENTS FOR CONSTRUCTION
- C. SUBSTITUTIONS
- 1. SEE DIVISION 01 25 13 PRODUCT SUBSTITUTION PROCEDURES FOR ADDITIONAL
- 2. CONTRACTOR SHALL PROVIDE ALL SUPPORTING DATA AND ASSUME THE BURDEN OF PROOF THAT ANY SUBSTITUTE IS EQUIVALENT AS TO APPEARANCE, CONSTRUCTION, CAPACITY, AND PERFORMANCE. THE JUDGMENT OF EQUIVALENCY SHALL BE MADE BY THE
- ENGINEER AT THE TIME OF SHOP DRAWING REVIEW, NOT DURING BIDDING. 3. WHERE SUBSTITUTE EQUIPMENT REQUIRES REDESIGN OF ANY PART OF THE PROJECT, THE COST OF REDESIGN AND ADDITIONAL COSTS OF THE WORK SHALL BE PAID BY THE CONTRACTOR. REDESIGN SHALL BE SUBJECT TO THE APPROVAL OF ALL AUTHORITIES
- HAVING JURISDICTION OVER THE WORK INCLUDING THE ARCHITECT/ ENGINEER. 4. CONTRACTOR SHALL ASSUME ALL COORDINATION RESPONSIBILITIES FOR SUBSTITUTE EQUIPMENT INCLUDING COORDINATION ACROSS TRADES AND COORDINATION OF PREVIOUSLY REVIEWED AND APPROVED SHOP DRAWING SUBMITTALS, SHOULD THESE SHOP DRAWINGS BE AFFECTED BY THE SUBSTITUTED EQUIPMENT.
- D. SHOP DRAWINGS, PRODUCT DATA, TEST RESULTS AND SAMPLE SUBMITTALS: . SEE DIVISION 01 33 23 SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES FOR ADDITIONAL
- REQUIREMENTS.
- 2. PLUMBING CONSTRUCTION ADMINISTRATION SUBMITTAL LIST:
- a. PIPING b. PIPE IDENTIFICATION
- c. FIXTURES
- d. INSULATION
- e. HANGERS f. DRAINS AND CLEANOUTS
- g. VALVES
- h. BACKFLOW PREVENTERS PROJECT CLOSEOUT a. PROVIDE PLUMBING EQUIPMENT OPERATING AND MAINTENANCE MANUALS TO THE
- OWNER PER IECC C303.3 AND C408.2.5.1. 4. AS-BUILT DRAWINGS SHALL BE MARKED ON A FINAL SET OF DRAWINGS WHICH INCLUDES
- ALL REVISIONS.
- E. FINISHING AND PAINTING 1. SEE DIVISION 09 91 00 FINISH AND PAINTING FOR ADDITIONAL REQUIREMENTS.
- 2. PREPARE EXPOSED PIPE, FITTINGS, SUPPORTS, AND ACCESSORIES FOR FINISH PAINTING IN ROOMS THAT WILL HAVE CEILING AND STRUCTURE PAINTED.
- 3. COORDINATE WORK WITH THE PAINTERS SO THAT ALL EQUIPMENT IS INSTALLED PRIOR TO PAINTING. P.C. SHALL PAINT ITEMS IF NOT IN PLACE PRIOR TO NORMAL ROUTINE
- 4. IF FINISH BECOMES RUSTED, CORRODED, SCRATCHED, OR FLAKED DURING STORAGE OR
- INSTALLATION, REFINISH THE EQUIPMENT TO THE SATISFACTION OF THE OWNER. 5. WHERE THE PLUMBING CONTRACTOR IS REQUIRED TO PAINT, THE PAINTING SHALL BE DONE IN ACCORDANCE WITH THE PAINTING PORTION OF THE ARCHITECTURAL
- F. DETAILS AND SCHEDULES ARE SHOWN TO AID THE CONTRACTOR AND ARE NOT MEANT TO BE INCLUSIVE OF ALL DEVICES. PROVIDE REQUIRED EQUIPMENT AND ACCESSORIES FOR A COMPLETE INSTALLATION
- G. INSTALL ALL EQUIPMENT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND
- REQUIREMENTS. PROVIDE ADDITIONAL WORK AND MATERIALS AS REQUIRED.
- H. REGULATORY REQUIREMENTS 1. PERFORM WORK PER ALL LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS
- HAVING JURISDICTION. 2. PROVIDE CERTIFICATE OF COMPLIANCE FROM AUTHORITY HAVING JURISDICTION INDICATING APPROVAL BACKFLOW PREVENTION DEVICES TESTING AND INSTALLATION.
- I. COORDINATE INSTALLATION OF PLUMBING WORK WITH THE OTHER CONTRACTORS TO AVOID CONFLICTS WITH OTHER WORK. J. VERIFY CONNECTION REQUIREMENTS FOR EQUIPMENT FURNISHED BY OTHERS WITH FINAL
- K. CUTTING AND PATCHING
- 1. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR PLUMBING WORK INSTALLATION UNLESS THIS WORK IS IDENTIFIED TO BE THE WORK OF OTHER CONTRACTORS. PATCHING SHALL MATCH ADJACENT SURFACES
- L. FIRE RATED INTERIOR WALL AND FLOOR PIPE PENETRATIONS 1. SLEEVE REQUIRED FOR PENETRATION OF CONCRETE AND MASONRY WALLS AND FLOORS.
- 2. SEAL OPENING AROUND PIPE WITH A UL APPROVED FIRE-STOP SYSTEM HAVING AN F-RATING NOT LESS THAN THE HOURLY RATING OF THE ASSEMBLY BEING PENETRATED.
- 3. PROVIDE FIRE-RESISTIVE JOINT SYSTEM PRODUCTS BY THE SAME MANUFACTURER AS BEING USED ON THE REMAINDER OF THE PROJECT (COORDINATE WITH GC/CM).
- 4. WHERE A SLEEVE IS REQUIRED, FURNISH AND INSTALL SLEEVES FOR NEW DRYWALL WALLS AND CONCRETE WALLS AND FLOORS. FURNISH SLEEVES TO THE MASON CONTRACTOR FOR INSTALLATION IN NEW MASONRY WALLS.
- 5. PROVIDE UL ASSEMBLY PENETRATION NUMBER TO AHJ COMPLIANT WITH BUILDING UL ASSEMBLY 30 DAYS PRIOR TO INSTALLATION IF REQUIRED BY AHJ. M. SEALANTS
- 1. PLUMBING CONTRACTOR SHALL PROVIDE ALL SEALANTS WHERE JOINT IS HIDDEN AND WHERE JOINT IS EXPOSED IN MECHANICAL ROOM.
- 2. SEALANT CONTRACTOR SHALL PROVIDE SEALANTS AT ALL EXPOSED LOCATIONS IN FINISHED ROOMS.
- 3. SEE SECTION 07 92 00 SEALANTS FOR ADDITIONAL INFORMATION. N. ESCUTCHEONS
- 1. INSTALL ONE-PIECE (TWO PIECE FOR EXISTING PIPING) POLISHED CHROME PLATED STEEL ESCUTCHEONS AT PENETRATIONS EXPOSED IN FINISHED ROOMS (ROOMS WHICH DON'T
- HAVE UNFINISHED CONCRETE FLOORS). 2. ESCUTCHEONS WITH SPRINGS FOR WALL AND CEILING LOCATIONS.
- 3. ID TO CLOSELY FIT AROUND PIPE/INSULATION, OD THAT COMPLETELY COVERS THE
- 4. ESCUTCHEONS REQUIRED IN CABINETS AND CASEWORK.
- O. PROJECT COMPLETION 1. CLEAN FIXTURES AND EQUIPMENT AND LEAVE IN PROPER WORKING CONDITION AT THE
- TIME OF FINAL CLEAN-UP.
- 2. REMOVE, CLEAN AND REPLACE AERATORS AFTER FLUSHING WATER PIPING. 3. PROVIDE OPERATING INSTRUCTIONS FOR A TOTAL OF ONE (1) HOURS. MAINTAIN A RECORD OF OPERATING INSTRUCTION PERIODS AND OBTAIN OWNER SIGNOFF THAT INSTRUCTIONS HAVE BEEN COMPLETED.

### 22 05 29 PIPE AND EQUIPMENT HANGERS AND SUPPORTS

- A. MANUFACTURERS: B-LINE, EMPIRE INDUSTRIES, GLOBAL PIPE HANGER PRODUCTS, GRINNEL, NATIONAL PIPE HANGER, UNI STRUT.
- B. ANGLES, CHANNELS, AND BEAMS: ASTM A36 AND A572 AS REQUIRED. C. HANGERS SHALL NOT BE ATTACHED TO JOIST BRIDGING.
- D. PIPE HANGERS/SUPPORTS
- 1. SEE DETAILS ON PLANS FOR ADDITIONAL PIPE HANGER SPECIFICATIONS. 2. SEE SCHEDULE ON PLANS FOR HANGER SPACING.
- 3. CONFORM TO ASME B31.9 AND MANUFACTURER'S STANDARDIZATION SOCIETY (MSS)
- SP-58-2009. 4. INSTALL HANGERS AND SUPPORTS SO PIPING LIVE AND DEAD LOADS AND STRESSES FROM
- MOVEMENT WILL NOT BE TRANSMITTED TO CONNECTED EQUIPMENT. ADJUST HANGERS TO DISTRIBUTE LOADS EQUALLY ON ATTACHMENTS AND TO PROVIDE INDICATED PIPE
- 5. PROVIDE SWAY BRACING ON HORIZONTAL DRAINAGE PIPES ABOVE GRADE 4" AND LARGER AT ALL CHANGES IN DIRECTION GREATER THAN 45 DEG WITHIN 12" OF CHANGE IN
- a. V BOTTOM CLEVIS HANGER: MSS SP-58 TYPE 1, B-LINE FIGURE B3106 AND FIGURE B3106V PRE-GALVANIZED PLASTIC PIPE SUPPORT CHANNEL FOR PEX PIPING TO INCREASE HANGER SPACING.
- E. STRUT SYSTEM 1. COMPLY WITH THE LATEST REVISION OF MFMA STANDARDS PUBLICATION NUMBER
- MFMA-3, "METAL FRAMING STANDARDS PUBLICATION". 2. INSTALL STRUT IN ACCORDANCE WITH MFMA-102 "GUIDELINES FOR THE USE OF METAL FRAMING"; IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S RECOMMENDATONS,
- AND WITH RECOGNIZED INDUSTRY PRACTICES. 3. COLD FORMED LOW CARBON STEEL METAL FRAMING CHANNEL STRUT: B-LINE TYPE B

- 4. 1-5/8 INCHES WIDE IN VARYING HEIGHTS AND WELDED COMBINATIONS AS REQUIRED TO
- 5. MANUFACTURER'S STANDARD FINISH OR PLAIN FINISH.

### 22 05 53 MECHANICAL IDENTIFICATION

- A. PIPE IDENTIFICATION
- 1. INDOOR SELF-ADHESIVE PIPE MARKERS
- a. MANUFACTURERS: MARKING SERVICES MS-900, BRADY B-736, SETON OPTI-CODE. b. FLEXIBLE PVC FILM WITH PRESSURE SENSITIVE ACRYLIC ADHESIVE BACKING WITH PRINTED MARKINGS.
- c. SECURE WITH 2" WIDE TAPE WITH ARROWS INDICATING FLOW. 2. COLOR, OVERALL SIZE AND LETTER HEIGHT SHALL CONFORM TO ASME A13.1- 2007
- "SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEMS". 3. IDENTIFY PIPE SERVICE, FLOW DIRECTION, AND PRESSURE.
- 4 LOCATIONS a. LOCATE TO FACE GREATEST POINT OF VISIBILITY. ALL ADJACENT LABELS TO BE
- b. LOCATE IDENTIFICATION NOT-TO-EXCEED 50 FEET FOR EXPOSED PIPING.
- c. LOCATE IDENTIFICATION NOT-TO-EXCEED 25 FEET FOR PIPING ABOVE CEILINGS. d. MINIMUM ONE LOCATION PER ROOM.
- e. INSTALL IDENTIFICATION AFTER PIPING AND INSULATION IS COMPLETE TO ENSURE
- MAXIMUM VISIBILITY OF THE IDENTIFICATION SYSTEM. f. BEHIND ACCESS PANELS AND ALL OTHER ACCESSIBLE POINTS OF SERVICE
- g. NEAR LOCATIONS WHERE PIPES PENETRATE WALLS, FLOORS OR CEILINGS. h. NEAR EACH VALVE AND CONTROL DEVICE. i. AT EACH MAJOR PIECE OF EQUIPMENT.

### **22 07 00 INSULATION**

- A. GENERAL
- 1. SEE INSULATION SCHEDULES ON PLANS FOR ADDITIONAL INFORMATION. 2. INSULATION, INSULATION SYSTEMS AND JACKETS SHALL MEET UL-723/ASTM E84
- REQUIREMENTS OF MAX. FIRE HAZARD CLASSIFICATION OF 25, AND MAX. FLAME SPREAD, FUEL CONTRIBUTED, AND SMOKE DEVELOPED OF 50 WHEN INSTALLED IN RETURN AIR
- 3. INSTALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND MICA PUBLICATION "COMMERCIAL AND INDUSTRIAL STANDARDS", 2011 SEVENTH EDITION.
- 4. CONTINUE INSULATION WITHOUT INTERRUPTIONS THROUGH WALLS AND FLOOR PENETRATIONS AND HANGERS.
- RIGID PIPING: a. O.C. FIBERGLAS PIPE INSULATION, KNAUF EARTHWOOL PIPE INSULATION, JOHNS
- MANVILLE MICRO-LOK. b. SINGLE OR DOUBLE ADHESIVE SELF-SEALING LAP SYSTEM FOR LONGITUDINAL JOINT,
- PRESSURE SENSITIVE BUTT STRIP SEALS, ALL SERVICE JACKET VAPOR BARRIER COVERING. c. 3.5-5.5 LB./CU.FT., R=4.3 / NOMINAL INCH AT 75 DEG F.
- d. MAX 850 DEG F, JACKET MAX 150 DEG F, 0.02 PERM.
- e. COMPRESSIVE STRENGTH AT 10% DEFORMATION 125 LB./S.F. f. VALVES, FITTINGS, AND FLANGE COVERS:
- 1). ZESTON 2000/300 SERIES, CEELCO 300 SERIES, PROTO LOSMOKE PVC JACKET
- 2). HIGH IMPACT 30 MIL WHITE PVC WITH PRECUT FIBERGLASS INSERTS. MAX TEMP
- B. ELASTOMERIC FOAM INSULATION 1. SEAL BUTT JOINTS WITH ADHESIVE
- PIPE a. MANUFACTURERS: AEROFLEX AEROCEL SSPT, K-FLEX INSUL-LOCK DS, ARMACELL
- AP/ARMAFLEX BLACK LAPSEAL
- b. EPDM/PVC BASE ELASTOMERIC FOAM MATERIAL c. DUAL TAPE CLOSURE
- d. MAX. 'K' VALUE 0.245 AT 75 DEG F e. MAX. CONTINUOUS TEMPERATURE 220 DEG F
- f. MAX. 0.05 PERM PER ASTM E96 g. MAX. FIRE/SMOKE DEVELOPED OF 25/50 PER ASTM E84 FOR UP TO 2" THICK.
- h. PROVIDE MANUFACTURER PREFORMED INSULATION OVER VALVES AND FITTINGS i. FIELD CUTTING AND GLUING LONGITUDINAL JOINT NOT PERMITTED.
- C. PIPE INSULATION REQUIREMENTS 1. INSULATE ENTIRE PIPING SYSTEM INCLUDING VALVES AND FITTINGS PER MICA INSULATION
- STANDARDS PLATES 10 THRU 18. 2. SEAL ALL INSULATION ENDS.

### 22 10 00 EXCAVATION AND BACKFILL

- A. P.C. SHALL EXCAVATE AND BACKFILL TRENCHES FOR PLUMBING WORK.
- B. MAINTAIN, PROTECT, AND TEMPORARILY SUPPORT ABOVE AND BELOW GRADE UTILITIES WHICH C. PROVIDE AND MAINTAIN ALL FENCING, BARRICADES, SIGNS, WARNING LIGHTS, AND/OR OTHER
- EQUIPMENT NECESSARY TO KEEP ALL EXCAVATION PITS AND TRENCHES AND THE ENTIRE SUBGRADE AREA SAFE UNDER ALL CIRCUMSTANCES AND AT ALL TIMES. NO EXCAVATION SHALL BE LEFT UNATTENDED WITHOUT ADEQUATE PROTECTION.
- D. ELEVATIONS SHOWN ON THE PLANS ARE SUBJECT TO SUCH REVISIONS AS MAY BE NECESSARY TO FIT FIELD CONDITIONS. E. EXCAVATING
- 1. CUT TRENCHES SUFFICIENTLY WIDE TO ENABLE INSTALLATION AND ALLOW INSPECTION. REMOVE WATER OR MATERIALS THAT INTERFERE WITH WORK
- 2. DO NOT INTERFERE WITHIN 45 DEGREE BEARING SPLAY OF FOUNDATIONS.
- 3. EXCAVATE MINIMUM 4" BELOW BOTTOM OF PIPE IF STONE GREATER THAN 1" OR BEDROCK IS ENCOUNTERED. 4. REMOVE UNSTABLE AREAS OF SUBGRADE BELOW PIPE TO MINIMUM 24" BELOW PIPE OR TO STABLE MATERIAL. BACKFILL WITH PEA GRAVEL, LIMESTONE SCREENINGS, OR EQUIVALENT

AND COMPACT TO DENSITY EQUAL TO REQUIREMENTS FOR SUBSEQUENT BACKFILL

- 5. STOCKPILE EXCAVATED MATERIAL IN AREA DESIGNATED ON SITE AND REMOVE EXCESS MATERIAL NOT BEING USED FROM SITE.
- F. BEDDING AND BACKFILL:
- 1. LINES PASSING UNDER FOUNDATIONS: a. INSTALL WITH MINIMUM OF 1-1/2 INCH CLEARANCE TO CONCRETE AND ENSURE THERE
- IS NO DISTURBANCE OF BEARING SOIL.
- b. BACKFILL WITH COMPACTED ENGINEER FILL PER GEOTECH REPORT. 2. MECHANICALLY COMPACT BEDDING AND BACKFILL TO PREVENT SETTLEMENT. THE INITIAL COMPACTED LIFT TO NOT EXCEED 24" COMPACTED TO 95% DENSITY PER MODIFIED PROCTOR TEST (ASTM D-1557). SUBSEQUENT LIFTS UNDER PAVEMENTS, CURBS, WALKS AND STRUCTURES ARE NOT TO EXCEED 12" AND BE COMPACTED TO 95% DENSITY PER MODIFIED PROCTOR TEST. IN ALL OTHER AREAS WHERE CONSTRUCTION ABOVE THE EXCAVATION IS

NOT ANTICIPATED WITHIN 2 YEARS, MECHANICALLY COMPACT BACKFILL IN LIFTS NOT

- EXCEEDING 24" TO 90% DENSITY PER MODIFIED PROCTOR TEST. 3. MAINTAIN OPTIMUM MOISTURE CONTENT OF FILL MATERIALS TO ATTAIN REQUIRED COMPACTION DENSITY.
- a. BEDDING: WHERE OVEREXCAVATED, BRING BACK TO BOTTOM OF PIPE ELEVATION WITH DRY SAND, GRAVEL, PEA GRAVEL, WASHED STONE OR CRUSHED STONE PASSING A 3/4"
- b. BACKFILL TO A DEPTH OF 12" OVER THE PIPE WITH SAND, CRUSHED STONE THAT PASSES A 1" SIEVE. PLACE IN WELL TAMPED MAXIMUM 6" LAYERS FOR LENGTH OF SEWER AND WIDTH OF TRENCH.
- 5. BACKFILL ABOVE 12" ABOVE THE PIPE: a. UNDER EXISTING AND FUTURE UTILITIES AND BUILDINGS: GRANULAR MATERIALS, PIT RUN SAND, GRAVEL, OR CRUSHED STONE, FREE FROM LARGE STONES, ORGANIC, AND
- FROZEN MATERIALS. 6. DIRECT SURFACE WATER AWAY FROM STOCKPILE SITE TO PREVENT EROSION OR DETERIORATION OF MATERIALS. REMOVE STOCKPILE, LEAVE AREA IN A CLEAN AND NEAT CONDITION. GRADE SITE SURFACE TO PREVENT FREESTANDING SURFACE WATER.

### 22 11 00 WATER PIPING AND VALVES

4. DRAIN PIPING

- 1. SEE PIPE SCHEDULE ON PLANS FOR ADDITIONAL INFORMATION.
- B. PIPING INSTALLATION 1. DRAWINGS AND DIAGRAMS SHOW SIZE AND APPROXIMATE LOCATION OF PIPING. THE DRAWINGS SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION. PROVIDE ADDITIONAL OFFSETS TO COORDINATE WITH INSTALLATION REQUIREMENTS OF OTHER SYSTEMS.
- 2. ROUTE ABOVE GROUND PIPING IN ORDERLY MANNER, PARALLEL TO BUILDING STRUCTURE. OFFSET PIPE CONNECTIONS AT EQUIPMENT TO ALLOW FOR SERVICE, SUCH AS REMOVAL OF
- 3. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 4. INSTALL PIPING TO CONSERVE BUILDING SPACE AND NOT INTERFERE WITH USE OF SPACE AND OTHER WORK. GROUP PIPING WHENEVER PRACTICAL AT COMMON ELEVATIONS.

- 5. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT WITH RESPECT TO THE BUILDING AND PLUMBING
- 6. PROVIDE CLEARANCE FOR INSTALLATION OF INSULATION AND ACCESS TO VALVES. 7. DO NOT ROUTE PIPING ABOVE TRANSFORMERS, PANELBOARDS, MOTOR CONTROL
- CENTERS, SWITCHBOARDS OR OTHER ELECTRICAL DISTRIBUTION EQUIPMENT. 8. PROVIDE NON-CONDUCTING DIELECTRIC CONNECTIONS WHEREVER JOINTING DISSIMILAR
- 9. USE ONLY NEW MATERIAL, FREE OF DEFECTS, RUST AND SCALE, AND MEETING THE LATEST
- REVISION OF THE ASTM SPECIFICATIONS. 10. PREPARE EXPOSED UNFINISHED PIPE, FITTINGS, SUPPORTS, AND ACCESSORIES, READY FOR
- 11. SLOPE PIPING AND ARRANGE SYSTEMS TO DRAIN AT LOW POINTS. USE TOP CONNECTIONS FOR TAKEOFFS TO EQUIPMENT ABOVE THE MAINS AND BOTTOM CONNECTIONS FOR
- TAKEOFFS TO EQUIPMENT BELOW THE MAINS.
- 12. USE LONG RADIUS ELBOWS FOR ALL 90 DEGREE ELBOWS. 13. INSTALL VALVE STEM BETWEEN THE VERTICAL (UPRIGHT) OR HORIZONTAL POSITION.
- 14. DO NOT SUPPORT WEIGHT OF PIPING ON VALVE. C. PIPING TESTING 1. EACH TEST MUST BE WITNESSED BY THE OWNER'S REPRESENTATIVE. IF LEAKS ARE FOUND,
- REPAIR THE AREA WITH NEW MATERIALS AND REPEAT THE TEST. DO NOT INSULATE PIPE UNTIL IT HAS BEEN SUCCESSFULLY TESTED.
- MEASURE AND RECORD TEST PRESSURE AT THE HIGH POINT IN THE SYSTEM 3. TEST WATER DISTRIBUTION SYSTEM WITH POTABLE WATER UNDER A WATER PRESSURE OF 100 PSIG OR THE WORKING PRESSURE OF THE SYSTEM (WHICHEVER IS GREATER) FOR A PERIOD OF (4) HOURS. IF LOCAL AUTHORITIES REQUIRE MORE STRINGENT TESTING.
- CONTRACTOR SHALL COMPLY WITH THOSE REQUIREMENTS. D. WATER PIPING BALANCING
- 1. VERIFY THAT SUFFICIENT WATER FLOW, PRESSURE AND TEMPERATURE ARE AVAILABLE AT
- EACH OUTLET AND EQUIPMENT CONNECTION. BALANCE CIRCULATING HOT WATER SYSTEM TO ENSURE PROPER CIRCULATION OF HOT WATER IN THE SYSTEM WITH HOT WATER AVAILABLE TO ALL FIXTURES AND CONNECTIONS.
- E. FLUSH AND DISINFECT DOMESTIC WATER SUPPLY SYSTEM AS FOLLOWS: 1. FILL PIPING WITH POTABLE WATER AND ALLOW TO STAND FOR 24 HOURS. 2. FLUSH EACH OUTLET BEGINNING WITH OUTLET CLOSEST TO BUILDING CONTROL VALVE
- AND THEN EACH SUCCESSIVE OUTLET IN THE SYSTEM. 3. FLUSH EACH OUTLET MINIMUM 1 MINUTE AND UNTIL WATER APPEARS CLEAR AT THE
- 4. FILL SYSTEM WITH WATER/CHLORINE SOLUTION OF 50 PPM OF CHLORINE AND LET STAND FOR 24 HOURS, OR 200 PPM FOR 3 HOURS.

BALANCE VALVE MINIMUM FLOW: 0.5 GPM.

- FLUSH WITH POTABLE WATER 6. REPEAT DISINFECTION IF BACTERIOLOGICAL CONTAMINATION EXISTS
- 7. PERFORM WATER QUALITY TEST IF REQUIRED BY LOCAL AUTHORITIES. 8. IF LOCAL AUTHORITIES REQUIRE MORE STRINGENT FLUSHING AND DISINFECTION, CONTRACTOR SHALL COMPLY WITH THOSE REQUIREMENTS.
- 1. MANUFACTURERS: NIBCO, APOLLO, KEYSTONE, CENTERLINE, DEZURIK, CRANE, MUELLER, POWELL, VIEGA, GRINNELL, SIOUX CHIEF. LISTING OF MODEL NUMBER DOES NOT PRECLUDE
- OTHER ACCEPTABLE MANUFACTURERS FROM PROVIDING EQUIVALENT VALVES. PROVIDE BRONZE VALVE FOR COPPER PIPE.
- 3. SHUTOFF VALVES 1" AND SMALLER a. PEX BALL VALVE
- 2). BRONZE THREE PIECE BODY, CHROME PLATED BRASS BALL, FULL PORT, TEFLON SEATS AND STUFFING BOX RING, LEVER HANDLE WITH VALVE EXTENSIONS FOR
- INSULATED PIPING, CRIMP JOINT ENDS, 200 PSI WOG, NSF 61 LISTED. 4. SHUTOFF VALVES 2" AND SMALLER
- a. BRONZE BALL VALVE: 1). SOLDERED: NIBCO S-685-66-LF. 2). PRESS FITTING: VIEGA SERIES 2970.\*ZL OR SERIES 2971.\*ZL 3). TWO PIECE, CHROME PLATED BRASS OR STAINLESS STEEL BALL, FULL PORT,
- HANDLE AND VALVE STEM EXTENSIONS FOR INSULATED PIPING, 250 PSI, NSF 61 ANNEX G LISTED.
- 5. MANUAL BALANCE VALVES 2" AND SMALLER a. BELL & GOSSETT A-549LFP(C), CALEFFI, NIBCO, FLOWSET, ARMSTRONG, AND IMI HYDRONIC ENGINEERING): BRONZE BODY WITH CALIBRATED BRASS ORIFICE OR

REINFORCED PTFE SEATS AND STUFFING BOX RING, LEVER HANDLE WITH LOCKABLE

- VENTURI, MEMORY STOP, SOLDERED ENDS AND PRESSURE TAPS. 125 PSIG RATING AT 240 DEG F, NSF 61 ANNEX G LISTED LEAD FREE. b. INSTALL 5 PIPE DIAMETERS DOWNSTREAM AND 2 PIPE DIAMETERS UPSTREAM OF A
- 6. DRAIN VALVES: SHUTOFF VALVE WITH THREADED CAP. PROVIDE FOR COMPLETE SYSTEM
- 7. SPRING LOADED CHECK VALVES a. 2" AND SMALLER:
- 1). THREADED: NIBCO MODEL 480-Y-LF 2). BRONZE BODY, TFE SEAT AND DISC, STAINLESS STEEL SPRING, CLASS 125, NSF 61
- ANNEX G LISTED LEAD FREE 8. WATER HAMMER ARRESTORS: SEE SCHEDULE. INSTALL IN ACCESSIBLE LOCATION.

### 22 13 00 DRAIN PIPING AND VALVES

DRAINAGE, NSF 61 LISTED.

- A. PIPING INSTALLATION 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. 2. FIELD VERIFY EXISTING AND PROPOSED SEWER ELEVATIONS AND SIZES AND NOTIFY THE
- OWNER'S REPRESENTATIVE IN WRITING OF ANY VARIATION OF THE ELEVATIONS BEFORE BEGINNING ANY SEWER AND BUILDING DRAIN WORK. 3. DRAWINGS AND DIAGRAMS SHOW SIZE AND APPROXIMATE LOCATION OF PIPING. THE DRAWINGS SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION. PROVIDE ADDITIONAL

OFFSETS TO COORDINATE WITH INSTALLATION REQUIREMENTS OF OTHER SYSTEMS.

4. ROUTE ABOVE GROUND PIPING IN ORDERLY MANNER, PARALLEL TO BUILDING STRUCTURE. OFFSET PIPE CONNECTIONS AT EQUIPMENT TO ALLOW FOR SERVICE, SUCH AS REMOVAL OF THE EQUIPMENT 5. INSTALL PIPING TO CONSERVE BUILDING SPACE AND NOT INTERFERE WITH USE OF SPACE

AND OTHER WORK. GROUP PIPING WHENEVER PRACTICAL AT COMMON ELEVATIONS.

6. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT WITH RESPECT TO THE BUILDING AND PLUMBING

Y. PROVIDE CLEARANCE FOR INSTALLATION OF INSULATION AND ACCESS TO VALVES.

- 8. DO NOT ROUTE PIPING ABOVE TRANSFORMERS, PANELBOARDS, MOTOR CONTROL CENTERS, SWITCHBOARDS OR OTHER ELECTRICAL DISTRIBUTION EQUIPMENT. 9. PROVIDE NON-CONDUCTING DIELECTRIC CONNECTIONS WHEREVER JOINTING DISSIMILAR
- 10. PROVIDE NO-HUB ADAPTER ON PVC PIPE WHERE USING NO-HUB COUPLINGS. 11. SLOPE SANITARY PIPE 2" AND SMALLER 1/4" PER FOOT; 3" AND LARGER PIPING 1/8" PER 12. SLOPE GREASE WASTE LINES UPSTREAM OF GREASE INTERCEPTOR MINIMUM 1/4" PER FOOT.
- 13. SLOPE STORM PIPE TO SLOPE INDICATED ON DRAWINGS WITH MAXIMUM VARIATIONS OF 1/8" IN 10 FEET FROM TRUE SLOPE. B. STORM AND SANITARY DRAIN PIPING TESTING: TEST DRAIN AND VENT PIPING PER CODE REQUIREMENTS.
- C. BACKWATER VALVE (SEWER 3", 4" OR 6") 1. RECTORSEAL CLEAN CHECK OR EQUIVALENT PVC BACKWATER VALVE WITH ACCESS SLEEVE. 2. PROVIDE FLOOR CLEANOUT OR CLEANOUT TO GRADE ASSEMBLY FOR SLEEVE SIZE.

SHALL BE LAV-GUARD BY TRUEBRO OR EQUIVALENT.

- **22 40 00 PLUMBING FIXTURES**
- 1. SEE SCHEDULES FOR ADDITIONAL INFORMATION. 2. LIKE FIXTURE TYPE (FAUCETS, FLUSH VALVES, WATER CLOSETS, LAVS, ETC.) SHALL BE THE PRODUCT OF THE SAME MANUFACTURER. 3. SAFETY COVERS OVER EXPOSED WASTE AND SUPPLY PIPING AT ADA ACCESSIBLE FIXTURES
- 1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. 2. PROVIDE CHROME PLATED RIGID SUPPLIES TO FIXTURES WITH STOPS, REDUCERS, AND ESCUTCHEONS UNLESS OTHERWISE NOTED IN SCHEDULES AND DETAILS.
- 3. SEAL FIXTURES TO WALL AND FLOOR SURFACES WITH MILDEW-RESISTANT SILICONE SEALANT, COLOR TO MATCH FIXTURE. 4. INSTALL BARRIER-FREE FIXTURES IN COMPLIANCE WITH LOCAL CODES AND FEDERAL ADA ACCESSIBILITY GUIDELINES.

5. EXPOSED TRAPS, PIPING, AND ESCUTCHEONS SHALL BE CHROME PLATED BRASS UNLESS

OTHERWISE NOTED IN SCHEDULES AND DETAILS. 6. ADJUST LAVATORY THERMOSTATIC MIXING VALVE TO 105 DEG F MAXIMUM OUTLET TEMPERATURE.

NOTE: ALI	SYMBOL	S SHOWN MAY NOT APPEAR ON DRAWINGS.			
SYM.	ABBR.	IDENTIFICATION	SYM.	ABBR.	<u>IDENTIFICATION</u>
PIPING A	CCESSORII	<u>ES</u>			
$\overline{}$	CO	CLEAN OUT	<del></del>		PIPING CAP
-	WCO	WALL CLEAN OUT	<b> -</b>		UNION
<b>—</b>	FCO	FLOOR CLEAN OUT (FLUSH)	里		THERMOMETER
<b>—</b>	BWV	BACKWATER VALVE (FLUSH)	<u> </u>		PRESSURE GAUGE
	BFP	BACKFLOW PREVENTER	<u></u> — I і	НВ	HOSE BIBB
₩—	PRV	PRESSURE REDUCING VALVE	<b>©</b>	RD	ROOF DRAIN
<b>—</b>		SHUTOFF VALVE	0	OFD	OVERFLOW DRAIN
_ሕ_		BALANCE ASSEMBLY (IN PLAN VIEWS)	0	HD	HUB DRAIN
-Ψ-		BALANCE VALVE (IN DETAILS)	0	HD-R	HUB DRAIN WITH REDUCER
-⊘-		AUTOMATIC BALANCE VALVE	0	FD	FLOOR DRAIN
<del>-</del> &-		THERMOSTATIC BALANCE VALVE	X		FIXTURE UNIT (WATER SUPPLY, WASTE)
N		CHECK VALVE	щ		TEST CONNECTION
δ		GLOBE VALVE	Q	WHA	WATER HAMMER ARRESTOR
<u>PIPING</u>					
	CW	COLD HARD WATER PIPING	P	Р	PROCESS WASTE PIPING
	HW	HOT WATER PIPING	LS	LS	LOW STRENGTH PROCESS WASTE PIPING
	HWR	HOT WATER RETURN PIPING	—HS—	HS	HIGH STRENGTH PROCESS WASTE PIPING
	S	COLD SOFT WATER PIPING		ST	STORM DRAIN PIPING
	140S	140° HOT WATER PIPING	<b>—</b> OF <b>—</b>	OF	OVERFLOW DRAIN PIPING
	140R	140° HOT WATER RETURN PIPING		V	VENT PIPING
HP-CW	HP-CW	HIGH PRESSURE COLD WATER SUPPLY	—AW—	AW	ACID WASTE PIPING
HP-HW	HP-HW	HIGH PRESSURE HOT WATER SUPPLY	AV	AV	ACID VENT PIPING
HP-HWR	HP-HWR	HIGH PRESSURE HOT WATER RETURN	—CLW—	CLW	CLEARWATER WASTE PIPING

	CVV	COLD HARD WATER PIPING	Ρ—	Р	PROCESS WASTE PIPING
	HW	HOT WATER PIPING	—LS—	LS	LOW STRENGTH PROCESS WASTE PIPING
	HWR	HOT WATER RETURN PIPING	—HS—	HS	HIGH STRENGTH PROCESS WASTE PIPING
	S	COLD SOFT WATER PIPING		ST	STORM DRAIN PIPING
	140S	140° HOT WATER PIPING	<b>—</b> OF <b>—</b>	OF	OVERFLOW DRAIN PIPING
	140R	140° HOT WATER RETURN PIPING		V	VENT PIPING
HP-CW-	HP-CW	HIGH PRESSURE COLD WATER SUPPLY	—AW—	AW	ACID WASTE PIPING
HP-HW	HP-HW	HIGH PRESSURE HOT WATER SUPPLY	AV	AV	ACID VENT PIPING
IP-HWR	HP-HWR	HIGH PRESSURE HOT WATER RETURN	—CLW—	CLW	CLEARWATER WASTE PIPING
NP-CW-	NP-CW	NON-POTABLE WATER PIPING		CLV	CLEARWATER VENT PIPING
NP-HW	NP-HW	NON-POTABLE HOT WATER	<b>—</b> G—	G	GAS PIPING
IP-HWR	NP-HWR	NON-POTABLE HOT WATER RETURN	—-А	AIR	AIR PIPING
-TW	TW	TEMPERED WATER PIPING	<u>—</u> нѕ—	HS	HYDRAULIC SUPPLY PIPING
-SA	SA	SANITARY WASTE PIPING	—HR—	HR	HYDRAULIC RETURN PIPING
-GW	GW	GREASE WASTE PIPING	—NIT—	NIT	NITROGEN PIPING
<b>-</b> F	F	FILTERED WATER PIPING	<b>—</b> CO2 <b>—</b>	CO2	CARBON DIOXIDE PIPING
MISCELLA	NEOUS				
•	ELEV	ELEVATION	$\Diamond$		DETAIL OR SECTION NUMBER SHEET NUMBER
ABBREVIA	ATIONS				
	AFF	ABOVE FINISHED FLOOR		NTS	NOT TO SCALE
	AFG	ABOVE FINISHED GRADE		OC	ON CENTER
	ВЈ	BETWEEN JOISTS		PC	PLUMBING CONTRACTOR
	EC	ELECTRICAL CONTRACTOR		RC	REFRIGERATION CONTRACTOR
	EX	EXISTING		RI	ROUGH-IN
	FPC	FIRE PROTECTION CONTRACTOR		TJ	THROUGH JOISTS
	GC	GENERAL CONTRACTOR / CONSTRUCTION MANAGER		TTS	TIGHT TO STRUCTURE
	НС	HVAC CONTRACTOR		TYP	TYPICAL
	IE	INVERT ELEVATION		VTR	VENT THROUGH ROOF
	IMP	INSULATED METAL PANEL		WP	WEATHER PROOF
	NIC	NOT IN CONTRACT			
IRE RATE	D WALLS				
		FIRE - 1 HOUR			FIRE - 3 HOUR

FIRE - 4 HOUR

## Always a Better Plan

100 Camelot Drive Fond du Lac, WI 54935 920-926-9800

PROJECT INFORMATION

excelengineer.com

SHEET DATES **ISSUED FOR CONSTRUCTION** MAR. 6, 2025

PROFESSIONAL SEAL

**JOB NUMBER** 240300000

SHEET NUMBER

FIRE - 2 HOUR

PLUMBING LEGEND AND SPECIFICATIONS

LEGEND AND SPECIFICATIONS

FLOOR PLANS

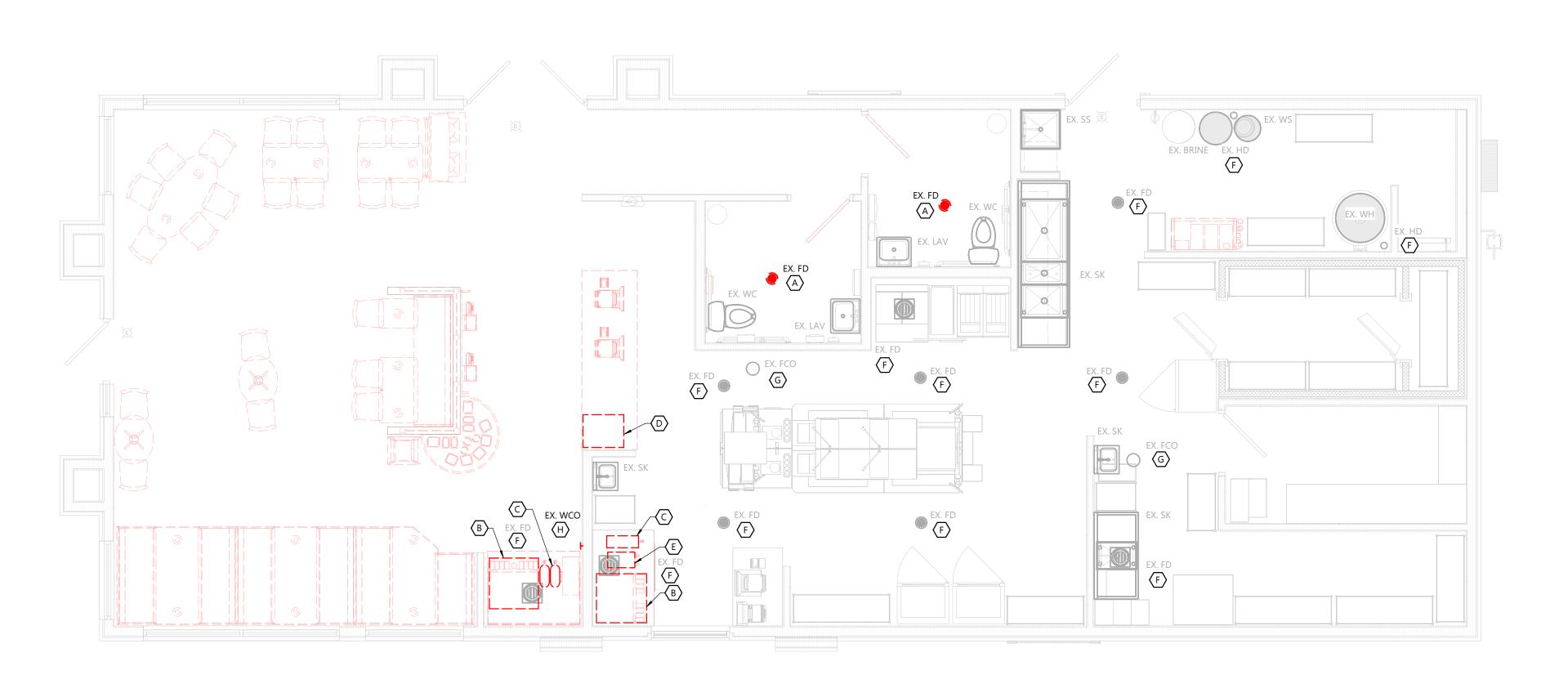
SHEET NAME

SHEET INDEX

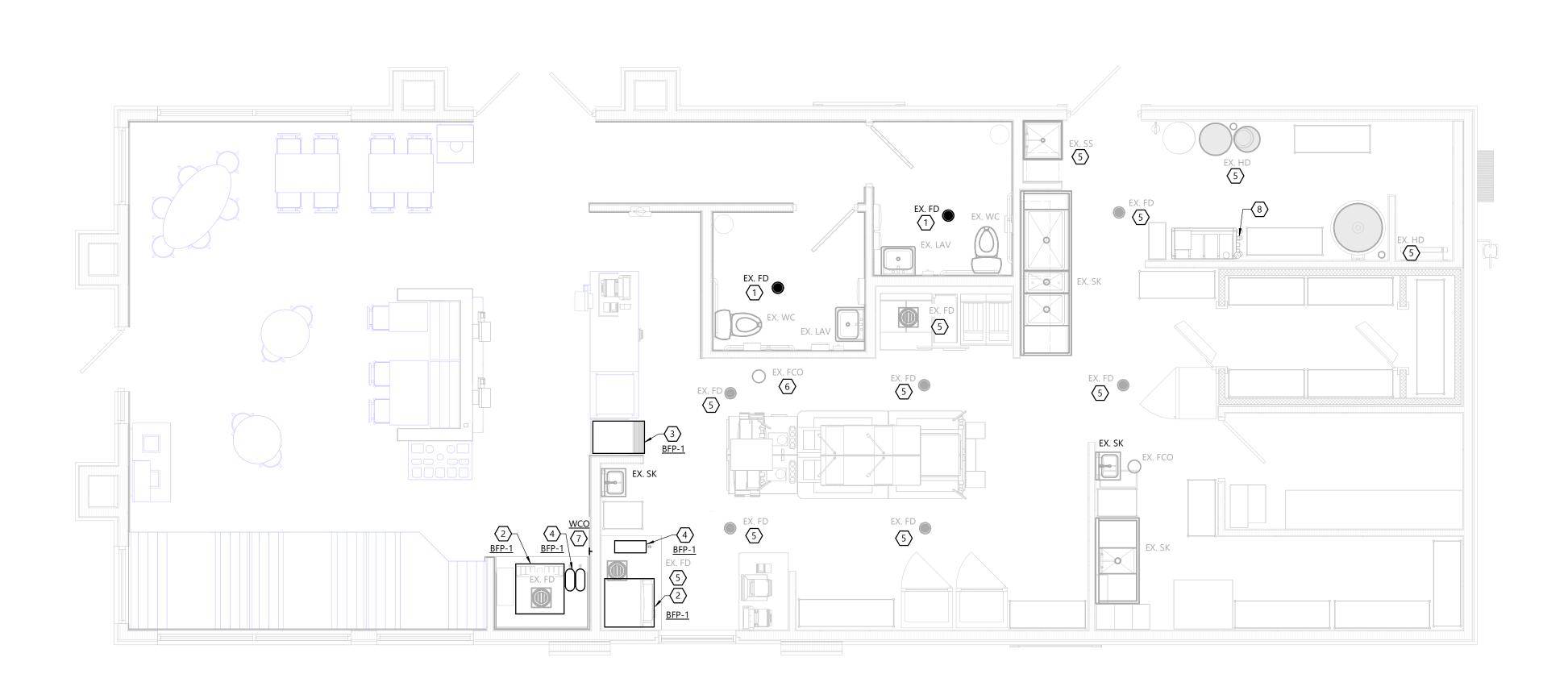
P4.0 SCHEDULES

NUMBER

PLUMBING







### **DEMOLITION PLAN NOTES:**

- ALL PIPING AND FIXTURES SHOWN "HEAVY DASHED" ARE TO BE DEMOLISHED.
- ALL PIPING AND FIXTURES SHOWN "LIGHTER" ARE EXISTING TO REMAIN.
  - TE DEMOLITION OF EVICTING DIDING TO BE DEMON
- COORDINATE DEMOLITION OF EXISTING PIPING TO BE REMOVED WITH GC
- NO EXISTING PLANS OF UNDERGROUND PIPING EXIST. PIPING SHOWN IS ENGINEER'S ESTIMATION OF ROUTING. FIELD VERIFY LOCATIONS OF EXISTING PIPE MAINS. REUSE ANY PIPING OF SUFFICIENT SIZE IN GOOD CONDITION. REROUTE AS REQUIRED BY ACTUAL CONDITIONS.
- WHERE EXISTING PIPING IS SHOWN TO BE REMOVED, CAP BRANCH PIPE IF NOT BEING USED FOR NEW CONSTRUCTION.

### **KEYNOTES:**

NOT ALL KEYNOTES MAY APPEAR ON PLAN.

- ADJUST/REPLACE EXISTING FLOOR DRAIN STRAINER TO BE FLUSH WITH FLOOR. VERIFY EXISTING PIPING AND P-TRAP IS OF SUFFICIENT CONDITION FOR REUSE.
- B REMOVE EXISTING SODA AND ICE MACHINE AND ALL ACCESSORIES.
- C REMOVE EXISTING TEA BREWER/DISPENSER AND ALL ACCESSORIES.
- REMOVE EXISTING FRUTISTA DISPENSER. SALVAGE FOR REINSTALLATION.
- E REMOVE EXISTING BUNN COFFEE MACHINE.
- EXISTING FLOOR/HUB DRAIN. IF FLOORING IS
  PATCHED/REPAIRED AT FLOOR DRAIN PROVIDE BREAKOUT
  PRICE TO REPLACE FLOOR DRAIN AND P-TRAP AS REQUIRED.
- (G) EXISTING FCO. IF FLOORING IS PATCHED/REPAIRED AT FCO PROVIDE BREAKOUT PRICE TO REPLACE FCO AS REQUIRED.
- REMOVE EXISTING WCO. ADJUST EXISTING PIPING AS REQUIRED FOR NEW WALL FINISHES.

### **GENERAL NOTES:**

CONTRACTOR'S RESPONSIBILITY.

- FIELD VERIFY EXISTING UNDERGROUND PIPING LOCATION, DEPTH AND SIZE AT POINT OF CONNECTION AND THAT NEW PIPE ROUTE IS CLEAR OF UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO INSTALLATION OF ANY UNDERGROUND PIPING. NO UNDERGROUND BUILDING DRAIN PIPING SHALL BE INSTALLED UNTIL BUILDING SEWERS ARE BROUGHT TO THE BUILDING AND INVERT ELEVATIONS
- ALL PIPING IS TO BE CONCEALED. IF BUILDING CONSTRUCTION DOES NOT PERMIT CONCEALING PIPING, LOCATIONS AND ROUTING ARE TO BE APPROVED BY ARCHITECT/OWNER PRIOR TO INSTALLATION.

VERIFIED. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE

- INSTALL CLEANOUTS AT STACKS WHICH PENETRATE THE LOWEST FLOOR LEVEL 28" AFF UNLESS NOTED OTHERWISE. IN WALLS BEHIND WATER CLOSETS, LOCATE WCO MIN. 2" ABOVE TOP OF GRAB BAR. WCO SHALL NOT INTERFERE WITH GRAB BAR MOUNTING SYSTEM.
- FLOOR AND WALL CLEANOUT LOCATIONS NOT PERMITTED TO BE MOVED WITHOUT APPROVAL OF ARCHITECT/ENGINEER.
- SEE ARCHITECTURAL SHEETS FOR ADA RELATED INSTALLATION DETAILS.
- DETAILS.

  VERIFY LOCATIONS OF ALL WCO / FCO AND REPLACE/ADJUST AS REQUIRED FOR NEW WORK.

<u>KEYNOTES:</u>

- NOT ALL KEYNOTES MAY APPEAR ON PLAN.

  ADJUST EXISTING FLOOR DRAIN STRAINER TO BE FLUSH WITH FLOOR. VERIFY EXISTING FLOOR DRAIN, P-TRAP, AND PIPING ARE OF SUFFICIENT CONDITION FOR REUSE. REPLACE AS REQUIRED
- AND RESEAL.

  CONNECT EXISTING WATER SUPPLIES TO NEW SODA AND ICE MACHINE. PROVIDE BFP-1. DISCHARGE INDIRECT WASTE VIA AIR
- GAP TO EX. FD.

  CONNECT SALAVAGED FRUTISTA MACHINE. ADJUST EXISTING
- SUPPLY CONNECTIONS AS REQUIRED. PROVIDE BFP-1.

  CONNECT NEW TEA DISPENSER. ADJUST EXISTING SUPPLY CONNECTIONS AS REQUIRED FOR NEW EQUIPMENT. PROVIDE BED 1
- EXISTING FLOOR/HUB DRAIN. IF FLOORING IS
  PATCHED/REPAIRED AT FLOOR DRAIN PROVIDE BREAKOUT PRICE
- TO REPLACE FLOOR DRAIN AND P-TRAP AS REQUIRED.

  (6) EXISTING FCO. IF FLOORING IS PATCHED/REPAIRED AT FCO PROVIDE BREAKOUT PRICE TO REPLACE FCO AS REQUIRED.
- 7 INSTALL NEW <u>WCO</u>. ADJUST EXISTING PIPING AS REQUIRED FOR NEW WALL FINISHES.
- VENDOR TO INSTALL WATER FILTRATION SYSTEM AND BACKROOM KIT IN THIS AREA. P.C. TO CONNECT TO EXISTING ROUGH-IN AND ADJUST AS REQUIRED.

### **TAC**3062 K

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100 Camelot Drive

Fond du Lac, WI 54935

920-926-9800

excelengineer.com

PROJECT INFORMATION

PROFESSIONAL SEAL

SHEET DATES	
ISSUED FOR C	ONSTRUCTION
IFC	MAR. 6, 202

JOB NUMBER

240300000

SHEET NUMBER

PLUMBING FLOOR PLANS

						COF	PPER						PEX				PV	C					CI	PVC				CA	ST IRON	
			C1220	0 TUBE		FITT	ING			JOINT		PIPE	FITTING	JOINT		PIPE		FITTI	NG .	JOINT		PIPE		FIT	TING	JOINT	PIPE	& FITTING	JC	INT
SERVICE	LOCATION	PIPE SIZE	ASTM B88 TYPE L HARD DRAWN	ASTM B88 TYPE K SOFT	ASME B16.15 CAST BRONZE THREADED (1) ASME B16.18 CAST COPPER SOLDER (1)	ASME B16.51 COPPER PRESS FITTINGS WITH EPDM O-RINGS (4)	ASTM B88 CDA 89833 CAST OR ASTM B75 C12200 WROT COPPER ALLOY GROOVED FITTING (5)	ASME B16.22 WROUGHT COPPER SOLDER (2)	LEAD FREE SOLDER	ASTM B32 AWS A5.8 BCuP SILVER BRAZE COLD PRESS MECH. JOINT (4)	G JOINT (5) (6)	ASTM F876, F877, F2023	ASTM F1960, F2159	PER MFR REQUIREMENTS	SCH. 40 PRESSURE RATED ASTM D1784, D1785	DWV CELL CORE NON-PRESS. RATED ASTM D4396, F891	SCH. 40 SOLID WALL NON-PRESS. RATED ASTM D1784, D1785, D2665	SCH. 40 ASTM D 2466 SCH. 40 DWV ASTM D2665	OR 35 ASTM D3	ASTM F656 PRIMER, ASTM D2564 SOLVENT CEMENT	DULE	ASTM D2846 - 9	ASTM D1784 CLASS 23447, F441	ASTM D1784, F2618	ASTM D1784, F439	SOLVENT CEMENT ASTM F493 SOLVENT CEMENT ASTM F493, NSF 14	SS ASTM A888, CISPI 301	BELL AND SPIGOT ASTM A74 SERVICE WEIGHT	ASTM C1277, CISPI 310 STD TYPE 304 S.S. CLAMP & SHIELD ASTM C564 RUBBER GASKET	ASTM C1540, CISPI 310 HEAVY DUTY TYPE 304 S.S. CLAMP & SHIELD ASTM C564 RUBBER GASKET
WATER	ABOVE GROUND	ALL	X		X X	Х	Х	Х	Х	Х	Х	Χ	Χ	Х							(16)	Χ	X		Х	X				
OVERFLOW DRAIN	ABOVE GROUND	ALL														Х		X		Х							Х		<=4"	>4"
SANITARY, STORM AND	ABOVE GROUND	ALL														Х		X		Х							Х		<=4"	>4"
CLEAR WATER DRAIN AND VENT	UNDER BUILDING	ALL													X		Х	X		Х							Х	Х	<=4"	>4"
GAS	≤ 5 PSIG	1/2" - 2"																												
	≤ 5 PSIG	2 1/2" - 8"																												
	> 5 PSIG	ALL SIZES																												

- ALL MATERIALS SHALL COMPLY WITH LATEST VERSION OF LISTED STANDARD. ALL IMPORTED MATERIAL SHALL BE CERTIFIED BY A DOMESTIC THIRD PARTY FOR COMPLIANCE WITH STANDARD.

(1) LEAD-FREE DEZINCIFICATION-RESISTANT (DZR) BRASS ALLOY C87850 PER ASTM B584.

(2) LEAD-FREE PER ASTM B75 ALLOY C12200.

(4) INSTALL PER MANUFACTURER'S INSTRUCTIONS. 50 YEAR WARRANTY AGAINST MANUFACTURING DEFECTS.

(5) INSTALL PER MANUFACTURER'S INSTRUCTIONS. 10 YEAR WARRANTY AGAINST MANUFACTURING DEFECTS.
(6) GRINNELL FIG 6400 OR EQUIVALENT. DUCTILE IRON ASTM A536 GRADE 65-45-12 HOUSING WITH COPPER ACRYLIC ENAMEL COATING,

BOLTS CONFORMING TO SAE J429 GRADE 5 WITH ASTM A563 GRADE A HEX NUTS (BOTH ZINC PLATED), GRADE "EP" EPDM (COPPER COLOR CODE) NSF 61 APPROVED COMPOUND GASKET SUITABLE FOR WATER TEMPERATURE. (16) PIPING SHALL BE SCH. 80 SPEARS EVERTUFF FOR 2 1/2" THROUGH 4" SIZES. GREATER THAN 4" CPVC NOT PERMITTED.

BACKFLOW PREVENTER / VACUUM BREAKER SCHEDULE (BFP)

PACI		<b>           </b>	VAC	COIVI DILLA	41/F1/ 2		. (Di i <i>)</i>							
NO.	LOC.	GРM	P.D. (PSI)	INDIRECT WASTE REQ'D	SIZE	MAX. OP TEMP DEG. F.	ТҮРЕ	MAX. HAZ.	BFP/VB PRESS.	APPLICATION	N	ASSE STD.	MODEL	REMARKS
1	SEE DWG	0.5	5.0	YES	3/8"	130	BFP FOR CARB. BEVERAGES	-	-	CARB. BEV. DISPENSER,	ICE MACHINE	1022	SD-3	WATTS (1)

- ACCEPTABLE MANUFACTURERS: WATTS, AMES, ZURN/WILKINS, APOLLO. (1) LEAD FREE BODY.

CLEAN	<b>NOUT SCHEDULE</b>								
			BODY	PLUG	ACCESS COVER				
NO.	LOCATION	SIZES	MAT'L	MAT'L	MAT'L	MISC.	MISC.	FIGURE	REMARKS
FCO	FINISHED ROOMS W/O CARPET (2)	2" - 6"	C.I.	PVC	N.B.	-	-	Z-1400	ZURN
WCO	WALL	3" - 4"	(5)	POLY	S.S.	-	-	Z-1469	ZURN
WCO	WALL	2" &	(6)	POLY	S.S.	-	-	Z-1469	ZURN

- ACCEPTABLE MANUFACTURERS: J.R. SMITH, SCHIER, JOSAM, WADE, ZURN.

- RECESSED TAPER THREAD PLUG WITH SLOTTED RECESS.

(2) FINISHED ROOMS ARE ROOMS WITH CARPET OR FLOOR TILE OR ROOMS ACCESSIBLE BY A DOOR LESS THAN 42" WIDE.

(5) PROVIDE "HOLDRITE" TESTRITE TEST/CLEANOUT TEE. THREADED PLUG WITH BRASS INSERT. MATERIAL SHALL MATCH PIPE MATERIAL TO WHICH TEE IS BEIN...
(6) PROVIDE TEST/CLEANOUT TEE. THREADED PLUG WITH BRASS INSERT. MATERIAL SHALL MATCH PIPE MATERIAL TO WHICH TEE IS BEING CONNECTED.

DRAI	N SCHEDU	JLE							
			OUTLET	BODY	STRAINE	R/TOP			
NO.	TYPE	APPLICATION	SIZE	MAT'L	MAT'L	SIZE	MISC.	MODEL	REMARKS
FD-1	FLOOR	PEDESTRIAN TRAFFIC	2"-3" (2)	CAST IRON	N. B. "TYPE B"	5" DIA	-	FD-2210	ZURN (19)
FD-2	FLOOR	EQ. RM. / MED. DUTY	2"-4" (2)	CAST IRON	CAST IRON	7" DIA	-	Z-507	ZURN (19)
FD-3	FLOOR	FLOOR SINK	3"	CAST IRON	N.B. 3/4 GRATE	12" x 12"	ALUM. DOME	861-23X	SIOUX CHIEF
FD-4	TRENCH	STANDARD ENVIR.	4"	ST. STEEL	(8)	24" x 12"	END CAPS	Z893-SBG-L-DB	ZURN
HD	HUB DRAIN	INDIRECT WASTE	(2)	-	STUB DRAIN PIP	E 2" A.F.F.	AND PROVIDE 1 PIPE SIZE	INCREASE ON END OF PIP	E.

- ACCEPTABLE MANUFACTURERS: ZURN, JOSAM, WADE.
(2) AS NOTED ON DRAWINGS

(8) STAINLESS STEEL FRAME WITH STAINLESS STEEL GRATE WITH HOLD-DOWN DEVICE. (19) PROVIDE BARRIER TYPE INSERT DRAIN TRAP SEAL COMPLIANT WITH ASSE 1072.

<b>INSULATION SCHEDUL</b>	E				
SERVICE	LOCATION	INSULATION	JACKET		E SIZE
		TYPE (1)		<1.5"	=>1.5"
CW	GENERAL BUILDING	RIGID F.G. OR ELAST. FOAM (10)	NR	1/2"	1/2"
CW	IN WALLS	ELASTOMERIC FOAM	NR	1/2"	1/2"
CW (PEX AND CPVC)	ALL	NR	NR	NR	NR
HW, HWR	GENERAL BUILDING	RIGID F.G. OR ELAST. FOAM (10)	NR	1"	1"
HW NOT ON RECIRC. LOOP	GENERAL BUILDING	RIGID F.G. OR ELAST. FOAM (10)	NR	1/2"	1/2"
HW BRANCH	IN WALLS	ELASTOMERIC FOAM	NR	1/2"	1/2"
STORM AND OVERFLOW DRAINS	GENERAL BUILDING	(11)	NR	1"	1"
GAS & AIR	GENERAL BUILDING	NR	NR	NR	NR

NR = NOT REQUIRED

COLD WATER = HARD, SOFT, IRRIGATION, HOSE STATION, ETC. AT ALL PRESSURES.

HOT WATER = WATER SYSTEMS OPERATING AT TEMPERATURES GREATER THAN 105 DEG F AT ALL PRESSURES.

(1) WHERE INSULATION IS PROVIDED ON PIPING INSULATE METERS, VALVES, BACKFLOW PREVENTERS AND ALL INLINE EQUIPMENT. (10) INSULATION NOT REQUIRED FOR EXPOSED FINAL PIPING CONNECTIONS TO FIXTURES.

(11) INSULATE ROOF AND OVERFLOW DRAIN BODIES WITH ELASTOMERIC FOAM.

INSULATE HORIZONTAL STORM PIPING AND ALL OVERFLOW PIPING WITH FIBERGLASS INSULATION. INSULATE PIPING IN DRYWALL CHASES ADJACENT TO OFFICES WITH FIBERGLASS INSULATION.

EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

TACO BELL - SUNDAN 3062 KILEY WAY • PLYMOUTH, WI 53

SHEET DA	TES
ISSUED FO	OR CONSTRUCTION
IFC	MAR. 6, 2025
l	

PROFESSIONAL SEAL

240300000

P4.0

### **DIVISION 26 ELECTRICAL**

### **26 05 00 BASIC ELECTRICAL REQUIREMENTS**

- A. SEE DIVISION 00 PROCUREMENT AND CONTRACTING AND DIVISION 01 GENERAL REQUIREMENT FOR ADDITIONAL REQUIREMENTS
- B. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIREMENTS FOR TEMPORARY LIGHTING AND POWER WITH GENERAL CONTRACTOR AND INCLUDE IN HIS SCOPE OF WORK WHEN DIRECTED BY G.C. INSTALL IN ACCORDANCE WITH ALL CODE AND OSHA REQUIREMENTS FOR CONSTRUCTION PROJECTS.
- C. SUBSTITUTIONS 1. SEE DIVISION 01 23 00 PRODUCT SUBSTITUTION PROCEDURES FOR ADDITIONAL REQUIREMENTS.
- 2. CONTRACTOR SHALL PROVIDE ALL SUPPORTING DATA AND ASSUME THE BURDEN OF PROOF THAT ANY SUBSTITUTE IS EQUIVALENT AS TO APPEARANCE, CONSTRUCTION, CAPACITY, AND PERFORMANCE. THE JUDGMENT OF EQUIVALENCY SHALL BE MADE BY THE ENGINEER AT THE TIME OF SHOP DRAWING REVIEW, NOT
- 3. WHERE SUBSTITUTE EQUIPMENT REQUIRES REDESIGN OF ANY PART OF THE PROJECT, THE COST OF REDESIGN AND ADDITIONAL COSTS OF THE WORK SHALL BE PAID BY THE CONTRACTOR. REDESIGN SHALL BE SUBJECT TO THE APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK INCLUDING THE ARCHITECT/ENGINEER.
- D. FINISHING AND PAINTING
- 1. SEE DIVISION 09 91 00 FINISH AND PAINTING FOR ADDITIONAL REQUIREMENTS.
- 2. PREPARE EXPOSED CONDUIT, FITTINGS, SUPPORTS, AND ACCESSORIES FOR FINISH PAINTING IN ROOMS THAT WILL HAVE CEILING AND STRUCTURE PAINTED.
- 3. E.C. SHALL PROVIDE A FACTORY OR FIELD APPLIED PRIME AND FINISH COAT OF COLOR SELECTED BY THE OWNER'S REPRESENTATIVE TO ALL ROOF MOUNTED EQUIPMENT AND OTHER EXTERIOR MATERIALS, INCLUDING SUPPORT
- 4. COORDINATE WORK WITH THE PAINTERS SO THAT ALL EQUIPMENT IS INSTALLED PRIOR TO PAINTING. E.C. SHALL PAINT ITEMS IF NOT IN PLACE PRIOR TO NORMAL ROUTINE PAINTING.
- 5. IF FINISH BECOMES RUSTED, CORRODED, SCRATCHED, OR FLAKED DURING STORAGE OR INSTALLATION, REFINISH THE EQUIPMENT TO THE SATISFACTION OF THE OWNER.
- 6. WHERE THE ELECTRICAL CONTRACTOR IS REQUIRED TO PAINT, THE PAINTING SHALL BE DONE IN ACCORDANCE
- WITH THE PAINTING PORTION OF THE ARCHITECTURAL SPECIFICATION. . DETAILS AND SCHEDULES ARE SHOWN TO AID THE CONTRACTOR AND ARE NOT MEANT TO BE INCLUSIVE OF ALL
- DEVICES. PROVIDE REQUIRED EQUIPMENT AND ACCESSORIES FOR A COMPLETE INSTALLATION.
- F. INSTALL ALL EQUIPMENT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS. PROVIDE ADDITIONAL WORK AND MATERIALS AS REQUIRED
- G. COORDINATE INSTALLATION OF ELECTRICAL WORK WITH THE OTHER CONTRACTORS TO AVOID CONFLICTS WITH
- H. MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITION AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE
- I. COMPLY WITH THE REQUIREMENTS OF NFPA; NATIONAL, STATE AND LOCAL ELECTRICAL CODES AND LOCAL UTILITY
- MATERIAL SHALL BEAR U.L. AND/OR OTHER APPROVED AGENCY LISTING.

DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

- K. INSTALL MOTOR STARTERS/VFDS FURNISHED BY REFRIGERATION, HVAC AND PLUMBING CONTRACTORS, AND WIRE FROM THE POWER SOURCE TO THE STARTER/VFD AND FROM THE STARTER/VFD TO THE MOTOR.
- L. VERIFY ELECTRICAL SIZE AND CONNECTION REQUIREMENTS FOR EQUIPMENT FURNISHED BY OTHERS WITH FINAL
- SHOP DRAWINGS. M. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATING SERVICE AND CONDUCT A PRIVATE UTILITY LOCATE TO ENSURE THAT ALL ELECTRICAL FEEDERS, BRANCH CIRCUITS, LOW VOLTAGE CABLES AND FIBER OPTIC HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER AND GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY
- N. SCHEDULE REQUIRED POWER, TELEPHONE OR DATA OUTAGES IN OCCUPIED AREAS OF THE BUILDING WITH THE OWNER. CONTRACTOR SHALL WORK UNTIL SERVICE IS RESTORED. OUTAGE WORK SHALL BE PERFORMED DURING NON-WORKING HOURS, WEEKENDS, OR HOLIDAYS.
- O. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR ELECTRICAL WORK INSTALLATION UNLESS THIS WORK IS IDENTIFIED TO BE THE WORK OF OTHER CONTRACTORS. PATCHING SHALL MATCH ADJACENT SURFACES. CORE DRILL OR SAW-CUT OPENINGS THROUGH EXISTING CONCRETE.
- P. REMOVE FROM THE JOB SITE ELECTRICAL CONDUIT, PANELS, CABLE, WIRE, EQUIPMENT, ETC. INDICATED BY THE DRAWINGS TO BE DEMOLISHED, UNLESS INDICATED TO BE TURNED OVER TO THE OWNER.
- 1. CLEAN FIXTURES AND EQUIPMENT AND LEAVE IN PROPER WORKING CONDITION AT THE TIME OF FINAL CLEAN-
- 2. MARK RECORD DRAWINGS ON A FINAL SET OF DRAWINGS WHICH INCLUDES ALL REVISIONS.
- THE ARCHITECT SHALL RESERVE THE RIGHT TO MAKE OUTLET POSITION CHANGES UP TO 10' BEFORE
- INSTALLATION WITHOUT ANY ADDITIONAL COST TO PROJECT. 2. DO NOT LOCATE OUTLETS OR EQUIPMENT WHERE THE USEFULNESS AND/OR OPERATION WILL BE AFFECTED BY THE WORK OF OTHER TRADES, DOOR SWING, COUNTER, EQUIPMENT, ETC.
- S. ACCESS 1. INSTALL EQUIPMENT, JUNCTION BOXES, PULL BOXES AND ACCESSORIES TO PERMIT ACCESS WITHOUT
- RELOCATING INSTALLED OR YET TO BE INSTALLED EQUIPMENT.
- ACCESS PANELS a. FURNISH ACCESS PANELS OF ADEQUATE SIZE TO PERMIT SERVICE OF CONCEALED DEVICES. PANELS SHALL BE SUITABLE FOR INSTALLATION IN THE MATERIAL FORMING THE FINISHED SURFACE, WITH FLUSH METAL FRAME,
- FLUSH HINGED STEEL DOOR, FLUSH SCREWDRIVER OPERATED LATCH. b. PANELS UL LISTED TO CONFORM TO THE FIRE RATING OF THE SURFACE INSTALLED IN. c. TURN ACCESS PANEL OVER TO CONTRACTOR SKILLED IN THE CONSTRUCTION OF THE SURFACES INVOLVED
- d. ARCHITECT TO APPROVE ACCESS PANEL LOCATION PRIOR TO INSTALLATION OF EQUIPMENT REQUIRING
- e. COORDINATE WITH THE OTHER CONTRACTORS AND WHEREVER PRACTICAL, GROUP DEVICES IN SUCH A MANNER SO AS TO MINIMIZE PANELS.
- T. EXCAVATION AND BACKFILL.
- 1. VERIFY ALL EXISTING UNDERGROUND ELECTRICAL FEEDERS, BRANCH CIRCUITS, LOW VOLTAGE CABLES AND FIBER OPTIC AND PLUMBING PIPING HAVE BEEN LOCATED PRIOR TO EXCAVATION. CONTRACTOR SHALL NOT USE
- MACHINE EXCAVATORS AROUND EXISTING BURIED ELECTRICAL AND PLUMBING LINES. 2. EXCAVATE AND BACKFILL TRENCHES FOR ELECTRICAL WORK. BACKFILL AND COMPACTION SHALL MEET
- REQUIREMENTS SPECIFIED ELSEWHERE. 3. CONDUIT PASSING UNDER FOOTINGS AND FOUNDATION WALLS ARE ALLOWED WHERE PERMITTED BY NEC.
- MAINTAIN MINIMUM 1-1/2" CLEARANCE UNDER FOOTINGS AND FOUNDATION WALLS.
- 4. BURY CONDUIT AND CABLE A MINIMUM 24" DEEP WITH 6" SAND BED ABOVE AND BELOW, AND WARNING MARKER TAPE MINIMUM 12" ABOVE.
- 5. RESTORE EXISTING GROUND, LAWNS, PAVING, WALKS, ETC. TO ORIGINAL CONDITION.
- U. DEMOLITION 1. CONTRACTOR SHALL INCLUDE REMOVAL OF ALL ELECTRICAL MATERIALS BEING DEMOLISHED FROM THE JOBSITE.
- 2. ALL FLUORESCENT AND HID LAMPS AND BALLASTS SHALL BE DISPOSED OF IN A MANNER APPROVED BY STATE,
- FEDERAL, AND E.P.A. STANDARDS V. REMODELING IN EXISTING CONSTRUCTION
- 1. CONCEAL CONDUIT IN WALLS, ABOVE CEILING, OR BELOW FLOORS. 2. WHERE IT IS IMPOSSIBLE TO CONCEAL CONDUIT AND WHEN APPROVED BY ARCHITECT, METAL SURFACE RACEWAY MAY BE USED FOR 110 VOLT OR GREATER POWER. PLASTIC SURFACE RACEWAY MAY BE USED UNDER THE
- a. EACH LINE VOLTAGE CIRCUIT IN THE RACEWAY IS PROVIDED WITH A SEPARATE GREEN GROUND WIRE.
- b. RACEWAY HAS DIVIDERS BETWEEN THE LOW VOLTAGE AND LINE VOLTAGE COMPARTMENTS. c. WIRE HOLDDOWN CLIPS ARE PROVIDED IN THE RACEWAY.

### **26 05 02 UTILITIES**

- A. PROVIDE A NEW ELECTRIC SERVICE AS SHOWN ON THE DRAWINGS. B. ASSIST THE OWNER IN APPLYING FOR ELECTRICAL SERVICE AND COORDINATE NEW SERVICE INSTALLATION WITH THE UTILITY COMPANY. PROVIDE METERING EQUIPMENT, TRANSFORMER PAD, AND CONDUIT ROUGH-IN AS REQUIRED BY
- C. ELECTRIC SERVICE COST BY OWNER.
- D. UTILITY COST BY OWNER. E. TELEPHONE UTILITIES
- NEW EXISTING TELEPHONE SERVICE
- 2. TELEPHONE UTILITY COSTS BY OWNER
- 26 05 19 LOW VOLTAGE POWER CONDUCTORS AND CABLES (600V AND LESS)
- 1. NO. 10 & 12: SOLID OR STRANDED COPPER, 600V, THHN/THWN. 2. NO. 8 TO 3: STRANDED COPPER, 600V, THHN/THWN.
- 3. NO. 2 TO 4/0: STRANDED COPPER OR ALUMINUM, 600V, THHN/THWN. 4. 250 KCMIL AND LARGER: STRANDED COPPER OR ALUMINUM, 600V, XHHW.
- 5. MINIMUM BRANCH CIRCUIT WIRE SIZE NO. 12.
- 6. CONTROL WIRING: STRANDED COPPER, MINIMUM NO. 14.
- 7. GREEN INSULATION, COPPER STRANDED EQUIPMENT GROUND. 8. FREEZERS/COOLERS: PROVIDE WIRING WITH INSULATION RATED BY MANUFACTURER FOR FREEZER/COOLERS
- 9. TYPE AC OR MC CABLE IS ACCEPTABLE WHERE ALLOWED BY STATE AND LOCAL CODES AND LOCAL AUTHORITY
- 10. TYPE AC OR MC CABLE UTILIZED IN ALL PATIENT CARE AREAS SHALL COMPLY WITH THE "REDUNDANT GROUND"
- REQUIREMENTS OF NEC 517.13(A) AND (B). B. NEUTRALS AND GROUNDS SHALL BE COLOR CODED PER NEC.

- C. WIRE COLORS
- 1. 120/208-VOLT SYSTEM: PHASE-A (BLACK), PHASE-B (RED), PHASE-C (BLUE).
- D. VOLTAGE DROP 1. AT NO POINT IN THE ELECTRICAL SYSTEM SHALL THERE BE MORE THAN 5 PERCENT TOTAL VOLTAGE DROP. 2. THE CONTRACTOR SHALL APPROPRIATELY INCREASE THE SIZE OF ALL CIRCUIT CONDUCTORS TO LIMIT VOLTAGE
- DROP TO 2 PERCENT OR LESS FOR FEEDERS, AND 3 PERCENT OR LESS FOR BRANCH CIRCUITS. 3. VOLTAGE DROP ON BRANCH CIRCUITS FOR LIGHTING OR RECEPTACLES SHALL BE CALCULATED USING 80 PERCENT
- AMPACITY OF THE BRANCH CIRCUITS OVERCURRENT PROTECTION DEVICE. E. PROVIDE GROUND CONDUCTOR(S) WITH EVERY BRANCH CIRCUIT AND EVERY FEEDER.
- F. WHEN USING ALUMINUM CONDUCTORS: THE CONTRACTOR SHALL SEAL ALL EXPOSED ALUMINUM WHEN CONDUCTOR IS EXPOSED IN A LUG WITH AN ANTI-OXIDANT COMPOUND. THE CONDUCTORS SHALL BE COMPACT CONCENTRIC STRANDED PURE ALUMINUM CONDUCTORS.
- G. PROVIDE A SEPARATE GROUND CONDUCTOR AND A SEPARATE NEUTRAL CONDUCTOR WHEN AN INDIVIDUAL RECEPTACLE OR PIECE OF EQUIPMENT IS SHOWN WITH AN INDIVIDUAL HOMERUN.
- H. PROVIDE A SEPARATE NEUTRAL CONDUCTOR FOR EACH LIGHTING BRANCH CIRCUIT THAT SERVES SOLID-STATE LED DRIVERS OR PROVIDE A NEUTRAL CONDUCTOR ONE SIZE LARGER THAN THE LARGEST SOURCE CONDUCTOR WHEN
- I. TESTING: ALL CIRCUITS SHALL BE TESTED FOR PROPER OPERATION AND FUNCTION. REPAIR ALL NON-WORKING,
- NEWLY INSTALLED, CIRCUITS. J. VERIFY LUG SIZES AND TERMINATION LOCATION PRIOR TO INSTALLING FEEDERS.

### **26 05 26 GROUNDING AND BONDING**

- A. GROUNDING AND BONDING PRODUCTS 1. GOVERNING REQUIREMENTS: WHERE TYPES, SIZES, RATINGS, AND QUANTITIES INDICATED ARE IN EXCESS OF NEC REQUIREMENTS, MORE STRINGENT REQUIREMENTS AND GREATER SIZE, RATING, AND QUANTITY INDICATIONS
- B. WIRE AND CABLE GROUNDING CONDUCTORS
- 1. CONFORM TO NEC TABLE 8, EXCEPT AS OTHERWISE INDICATED FOR CONDUCTOR PROPERTIES, INCLUDING STRANDING
- a. MATERIAL: COPPER. 2. EQUIPMENT GROUNDING CONDUCTORS: INSULATED WITH GREEN COLOR INSULATION.
- 3. GROUNDING-ELECTRODE CONDUCTORS: STRANDED CABLE. 4. UNDERGROUND CONDUCTORS: BARE, TINNED, STRANDED, EXCEPT AS OTHERWISE INDICATED.
- a. SOLID CONDUCTORS: AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) B3. b. ASSEMBLY OF STRANDED CONDUCTORS: ASTM B8.
- c. TINNED CONDUCTORS: ASTM B33.
- C. MISCELLANEOUS CONDUCTORS . GROUNDING BUS: BARE, ANNEALED COPPER BARS OF RECTANGULAR CROSS SECTION
- 2. BRAIDED BONDING JUMPERS: COPPER TAPE, BRAIDED NO. 3/0 AMERICAN WIRE GAUGE (AWG) BARE COPPER WIRE,
- TERMINATED WITH COPPER FERRULES. 3. BONDING STRAPS: SOFT COPPER, 0.05 INCH (1 MILLIMETER) THICK AND 2 INCHES (50 MILLIMETERS) WIDE, EXCEPT AS INDICATED.
- 1. PRESSURE CONNECTORS: HIGH CONDUCTIVITY PLATED UNITS. BOLTED CLAMPS: HEAVY-DUTY TYPE.
- 3. EXOTHERMIC-WELDED CONNECTIONS: PROVIDED IN KIT FORM AND SELECTED PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND CONNECTED ITEMS.
- 1. EQUIPMENT GROUNDING CONDUCTORS: COMPLY WITH NEC ARTICLE 250 FOR TYPES, SIZES, AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, EXCEPT WHERE SPECIFIC TYPES, LARGER SIZES, OR MORE CONDUCTORS
- THAN REQUIRED BY NEC ARE INDICATED. a. INSTALL EQUIPMENT GROUNDING CONDUCTOR WITH CIRCUIT CONDUCTORS FOR ITEMS BELOW IN ADDITION
- TO THOSE REQUIRED BY CODE:
- 1). FEEDERS AND BRANCH CIRCUITS. 2). LIGHTING CIRCUITS.
- 3). RECEPTACLE CIRCUITS.
- 4). SINGLE-PHASE MOTOR OR APPLIANCE BRANCH CIRCUITS. 5). THREE-PHASE MOTOR OR APPLIANCE BRANCH CIRCUITS.
- 6). FLEXIBLE RACEWAY RUNS.
- ARMORED AND METAL-CLAD CABLE RUNS.
- b. BUSWAY SUPPLY CIRCUITS: INSTALL SEPARATE EQUIPMENT GROUNDING CONDUCTOR FROM GROUNDING BUS IN DISTRIBUTION PANEL TO EQUIPMENT GROUNDING-BAR TERMINAL ON BUSWAY.
- c. COMPUTER OUTLET CIRCUITS: INSTALL SEPARATE EQUIPMENT GROUNDING CONDUCTOR IN BRANCH CIRCUIT RUNS FROM COMPUTER AREA POWER PANELS OR POWER-DISTRIBUTION UNITS. d. ISOLATED GROUNDING-RECEPTACLE CIRCUITS: INSTALL SEPARATE INSULATED EQUIPMENT GROUNDING
- CONDUCTOR CONNECTED TO RECEPTACLE GROUNDING TERMINAL. ISOLATE GROUNDING CONDUCTOR FROM RACEWAY AND FROM PANELBOARD GROUNDING TERMINALS. TERMINATE AT EQUIPMENT GROUNDING-CONDUCTOR TERMINAL OF APPLICABLE DERIVED SYSTEM OR SERVICE, EXCEPT AS OTHERWISE e. ISOLATED EQUIPMENT ENCLOSURE CIRCUITS: FOR DESIGNATED EQUIPMENT SUPPLIED BY BRANCH CIRCUIT
- LISTED FOR PURPOSE. INSTALL FITTING WHERE RACEWAY ENTERS ENCLOSURE, AND INSTALL SEPARATE EQUIPMENT GROUNDING CONDUCTOR. ISOLATE EQUIPMENT GROUNDING CONDUCTOR FROM RACEWAY AND FROM PANELBOARD GROUNDING TERMINALS. TERMINATE AT EQUIPMENT GROUNDING-CONDUCTOR TERMINAL OF APPLICABLE DERIVED SYSTEM OR SERVICE, EXCEPT AS OTHERWISE INDICATED.

OR FEEDER, ISOLATE EQUIPMENT ENCLOSURE FROM SUPPLY RACEWAY WITH NONMETALLIC RACEWAY FITTING

f. Nonmetallic raceways: install equipment grounding conductor in nonmetallic raceways UNLESS THEY ARE DESIGNATED FOR TELEPHONE OR DATA CABLES. g. WATER HEATER, HEAT-TRACING, AND ANTIFROST HEATER CIRCUITS: INSTALL SEPARATE EQUIPMENT

GROUNDING CONDUCTOR TO EACH ELECTRIC WATER HEATER, HEAT-TRACING ASSEMBLY, AND ANTIFROST

- HEATING CABLE. BOND CONDUCTOR TO HEATER UNITS, PIPING, CONNECTED EQUIPMENT, AND 2. SIGNAL AND COMMUNICATION SYSTEMS: FOR TELEPHONE, ALARM, VOICE AND DATA, AND OTHER COMMUNICATION SYSTEMS, PROVIDE NO. 4 AWG MINIMUM INSULATED GROUNDING CONDUCTOR IN RACEWAY
- FROM GROUNDING-ELECTRODE SYSTEM TO EACH SERVICE LOCATION, TERMINAL CABINET, WIRING CLOSET, AND CENTRAL EQUIPMENT LOCATION. a. SERVICE AND CENTRAL EQUIPMENT LOCATIONS AND WIRING CLOSETS: TERMINATE GROUNDING CONDUCTOR ON 1/4 BY 2 BY 12 INCHES (6 BY 50 BY 300 MILLIMETER) GROUNDING BUS.
- b. TERMINAL CABINETS: TERMINATE GROUNDING CONDUCTOR ON CABINET GROUNDING TERMINAL 3. SEPARATELY DERIVED SYSTEMS: WHERE NEC REQUIRES GROUNDING, GROUND ACCORDING TO NEC PARAGRAPH
- 4. METAL POLES SUPPORTING OUTDOOR LIGHTING FIXTURES: GROUND POLE TO GROUNDING ELECTRODE IN ADDITION TO SEPARATE EQUIPMENT GROUNDING CONDUCTOR RUN WITH SUPPLY BRANCH CIRCUIT. 5. PIPING SYSTEMS AND OTHER EQUIPMENT: COMPLY WITH NEC ARTICLE 250 FOR BONDING REQUIREMENTS.
- 1. GROUND ELECTRICAL SYSTEMS AND EQUIPMENT ACCORDING TO NEC REQUIREMENTS, EXCEPT WHERE DRAWINGS OR SPECIFICATIONS EXCEED NEC REQUIREMENTS. 2. GROUNDING RODS: LOCATE MINIMUM OF 1 ROD LENGTH FROM EACH OTHER AND AT LEAST SAME DISTANCE
- FROM ANY OTHER GROUNDING ELECTRODE. a. DRIVE UNTIL TOPS ARE 2 INCHES (50 MILLIMETERS) BELOW FINISHED FLOOR OR FINAL GRADE, EXCEPT AS OTHERWISE INDICATED.
- WELLS AND AS OTHERWISE INDICATED. MAKE THESE CONNECTIONS WITHOUT DAMAGING COPPER COATING 3. GROUNDING CONDUCTORS: ROUTE ALONG SHORTEST AND STRAIGHTEST PATHS POSSIBLE, EXCEPT AS OTHERWISE INDICATED. AVOID OBSTRUCTING ACCESS OR PLACING CONDUCTORS WHERE THEY MAY BE

b. Interconnect with grounding-electrode conductors. Use exothermic welds, except at test

- SUBJECTED TO STRAIN, IMPACT, OR DAMAGE. 4. UNDERGROUND GROUNDING CONDUCTORS: USE BARE TINNED COPPER WIRE. BURY AT LEAST 30 INCHES (600 MILLIMETERS) BELOW GRADE
- 5. METAL WATER SERVICE PIPE: PROVIDE INSULATED COPPER GROUNDING CONDUCTORS, SIZED AS INDICATED, IN CONDUIT, FROM BUILDING'S MAIN SERVICE EQUIPMENT, OR GROUNDING BUS, TO MAIN METAL WATER SERVICE ENTRANCES TO BUILDING. CONNECT GROUNDING CONDUCTORS TO MAIN METAL WATER SERVICE PIPES BY GROUNDING-CLAMP CONNECTORS. WHERE DIELECTRIC MAIN WATER FITTING IS INSTALLED, CONNECT GROUNDING CONDUCTOR TO STREET SIDE OF FITTING. DO NOT INSTALL GROUNDING JUMPER ACROSS
- DIELECTRIC FITTINGS. BOND GROUNDING-CONDUCTOR CONDUIT TO CONDUCTOR AT EACH END. 6. WATER METER PIPING: USE BRAIDED-TYPE BONDING JUMPERS TO ELECTRICALLY BYPASS WATER METERS. CONNECT TO PIPE WITH GROUNDING-CLAMP CONNECTORS.
- ASSOCIATED PUMPS, FANS, BLOWERS, ELECTRIC HEATERS, AND AIR CLEANERS. USE BRAIDED-TYPE BONDING 8. CONCRETE-ENCASED GROUNDING ELECTRODE (GROUNDING BUILDING/STRUCTURE FOOTING): FABRICATE ACCORDING TO NEC ARTICLE 250 USING MINIMUM OF 20 FEET (6 METERS) OF BARE TINNED COPPER CONDUCTOR NOT SMALLER THAN NO. 4 AWG OR MINIMUM 20 FEET (6 METERS) REBAR 1/2 INCH OR LARGER IN DIAMETER.

7. BOND INTERIOR METAL PIPING SYSTEMS AND METAL AIR DUCTS TO EQUIPMENT GROUNDING CONDUCTORS OF

- G. CONNECTIONS 1. MAKE CONNECTIONS SO POSSIBILITY OF GALVANIC ACTION OR ELECTROLYSIS IS MINIMIZED. SELECT CONNECTORS, CONNECTION HARDWARE, CONDUCTORS, AND CONNECTION METHODS SO METALS IN DIRECT CONTACT WILL BE GALVANICALLY COMPATIBLE.
  - a. USE ELECTROPLATED OR HOT-TIN-COATED MATERIALS TO ASSURE HIGH CONDUCTIVITY AND TO MAKE CONTACT POINTS CLOSER IN ORDER OF GALVANIC SERIES.

BOND GROUNDING CONDUCTOR TO REINFORCING STEEL TO AT LEAST 4 LOCATIONS, AND TO ANCHOR BOLTS.

- b. MAKE CONNECTIONS WITH CLEAN, BARE METAL AT POINTS OF CONTACT. c. MAKE ALUMINUM-TO-STEEL CONNECTIONS WITH STAINLESS-STEEL SEPARATORS AND MECHANICAL CLAMPS. d. MAKE ALUMINUM-TO-GALVANIZED STEEL CONNECTIONS WITH TIN-PLATED COPPER JUMPERS AND
- MECHANICAL CLAMPS.

EXTEND GROUNDING CONDUCTOR UP IN FOUNDATION WALL.

- e. COAT AND SEAL CONNECTIONS HAVING DISSIMILAR METALS WITH INERT MATERIAL TO PREVENT FUTURE PENETRATION OF MOISTURE TO CONTACT SURFACES.
- EXOTHERMIC-WELDED CONNECTIONS: USE FOR CONNECTIONS TO STRUCTURAL STEEL AND FOR UNDERGROUND CONNECTIONS, EXCEPT THOSE AT TEST WELLS. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. WELDS THAT ARE PUFFED UP OR THAT SHOW CONVEX SURFACES INDICATING IMPROPER CLEANING ARE NOT
- 3. EQUIPMENT GROUNDING-WIRE TERMINATIONS: FOR NO. 8 AWG AND LARGER, USE PRESSURE-TYPE GROUNDING LUGS. NO. 10 AWG AND SMALLER GROUNDING CONDUCTORS MAY BE TERMINATED WITH WINGED PRESSURE-
- 4. NONCONTACT METAL RACEWAY TERMINATIONS: WHERE METALLIC RACEWAYS TERMINATE AT METAL HOUSINGS WITHOUT MECHANICAL AND ELECTRICAL CONNECTION TO HOUSING, TERMINATE EACH CONDUIT WITH A GROUNDING BUSHING. CONNECT GROUNDING BUSHINGS WITH BARE GROUNDING CONDUCTOR TO GROUNDING BUS OR TERMINAL IN HOUSING. BOND ELECTRICALLY NONCONTINUOUS CONDUITS AT BOTH ENTRANCES AND EXITS WITH GROUNDING BUSHINGS AND BARE GROUNDING CONDUCTORS, EXCEPT AS OTHERWISE INDICATED.
- 5. TIGHTEN SCREWS AND BOLTS FOR GROUNDING AND BONDING CONNECTORS AND TERMINALS ACCORDING TO MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. WHERE THESE REQUIREMENTS ARE NOT AVAILABLE,
- USE THOSE SPECIFIED IN UL 486A AND UL 486B. 6. COMPRESSION-TYPE CONNECTIONS: USE HYDRAULIC COMPRESSION TOOLS TO PROVIDE CORRECT CIRCUMFERENTIAL PRESSURE FOR COMPRESSION CONNECTORS. USE TOOLS AND DIES RECOMMENDED BY

MANUFACTURER OF CONNECTORS. PROVIDE EMBOSSING DIE CODE OR OTHER STANDARD METHOD TO MAKE

VISIBLE INDICATION THAT CONNECTOR HAS BEEN ADEQUATELY COMPRESSED ON GROUNDING CONDUCTOR. MOISTURE PROTECTION: WHERE INSULATED GROUNDING CONDUCTORS ARE CONNECTED TO GROUNDING RODS OR GROUNDING BUSES, INSULATE ENTIRE AREA OF CONNECTION AND SEAL AGAINST MOISTURE PENETRATION OF INSULATION AND CABLE.

### 26 05 29 HANGERS AND SUPPORTS

- A. CONDUIT HANGERS, ATTACHMENTS, AND SUPPORTS 1. PROVIDE PROPER FITTINGS AND SUPPORT SUITABLE FOR AMBIENT/ENVIRONMENTAL CONDITIONS AND SERVICE
- 2. ATTACH TO STRUCTURAL COMPONENTS TO NOT JEOPARDIZE STRUCTURAL INTEGRITY.
- 3. PROVIDE ANGLES, CHANNELS, AND BEAMS AS REQUIRED.
- 1. 3/4" PLYWOOD PAINTED ON BOTH SIDES AND EDGES WITH TWO COATS OF WHITE ENAMEL PAINT TO MOUNT EQUIPMENT WHERE SHOWN. . SUPPORT WITH PAINTED OR GALVANIZED STEEL CHANNEL.
- C. CONCRETE PADS COORDINATE FINAL EQUIPMENT CONCRETE PAD SIZE REQUIREMENTS. PADS SHALL EXTEND MINIMUM 2" BEYOND EQUIPMENT FOOTPRINT.
- D. EXTERIOR LIGHT POLE AND BOLLARD BASES 1. PROVIDE EXTERIOR LIGHT POLE AND BOLLARD CONCRETE BASES PER DETAILS.

### 26 05 30 CONDUIT

- A. RMC ALLOWED FOR ALL SIZES BELOW GRADE AND INSIDE ABOVE GRADE.
- REQUIRED WHERE CALLED OUT ON PLANS. REQUIRED FOR ALL SIZES OF OUTDOOR ABOVE GRADE CONDUIT.

1. ALLOWED FOR INSIDE ABOVE GRADE CONDUIT 2" AND SMALLER.

4. GALVANIZED RIGID STEEL REQUIRED FOR ALL UNDERGROUND 90 DEGREE BENDS.

PERMITTED BY CODE AND LOCAL AUTHORITY HAVING JURISDICTION.

- 5. GALVANIZED RIGID STEEL WITH GALVANIZED RIGID STEEL FITTINGS, THREADED WATERTIGHT. B. EMT
- 2. STEEL SET SCREW OR COMPRESSION TYPE FITTINGS WITH INSULATED THROAT. C. ENT

3. SUPPORT MINIMUM EVERY TWO FEET.

- 1. SIZES: MINIMUM 1/2", MAXIMUM 1" 2. ALLOWED FOR ABOVE GRADE CONDUIT WHICH IS CONCEALED INSIDE NON-RATED WALLS AND WHERE
- D. FLEXIBLE

MAXIMUM LENGTH 36" FOR CONNECTION TO HVAC EQUIPMENT

- 3. MAXIMUM LENGTH 72" FOR CONNECTION TO FIXTURES IN TILE CEILINGS. 4. STEEL FITTINGS WITH INSULATED THROAT, UL LISTED.
- 1. USE FOR CONDUIT IN CONCRETE, UNDER FLOOR SLABS, OR IN EARTH WHEN PERMITTED BY CODE AND LOCAL
- MINIMUM SIZE 3/4" SCHEDULE 40 PVC.
- F. FITTINGS 1. FITTING MATERIAL SHALL MATCH CONDUIT MATERIAL UNLESS OTHERWISE NOTED IN PLANS AND SPECIFICATIONS OR WITH WRITTEN APPROVAL BY ENGINEER.
- 1. DRAWINGS AND DIAGRAMS SHOW SIZE AND APPROXIMATE LOCATION OF CONDUIT. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION. PROVIDE ADDITIONAL OFFSETS AS REQUIRED FOR FIELD CONDITIONS. ROUTE CONDUIT IN ORDERLY MANNER, PARALLEL TO BUILDING STRUCTURE. CONCEAL CONDUIT IN FINISHED AREAS.
- INSTALL UL APPROVED EXPANSION FITTINGS COMPLETE WITH GROUNDING JUMPERS WHERE CONDUITS CROSS BUILDINGS EXPANSION JOINTS AND IN LONG CONDUIT RUNS WHERE DIFFERENTIAL EXPANSION OR CONTRACTION WOULD CAUSE BENDING OR SEPARATION. 3. WHERE CONDUIT IS INSTALLED IN EXISTING WALLS, FLOORS OR HARD CEILINGS THE CONTRACTOR SHALL CUT
- AND PATCH SURFACES TO MATCH EXISTING FOR INSTALLING CONDUIT AND RACEWAYS. THE CUTTING AND PATCHING SHALL BE DONE BY THIS CONTRACTOR TO THE SATIFACTION OF THE GENERAL CONTRACTOR.
- 4. INSTALL CONDUIT WITH ADEQUATE DRAINAGE. 5. PROVIDE PULL STRING IN ALL EMPTY CONDUITS. 6. WHEN REQUIRED BY STATE AND LOCAL CODES AND ORDINANCES, PROVIDE SEPARATE CONDUIT/RACEWAY FOR
- FIRE ALARM AND TELECOMMUNICATION SYSTEMS. ROUTE CONDUIT ABOVE LAY-IN SUSPENDED CEILINGS SO AS NOT TO INTERFERE WITH TILE REMOVAL 8. INSTALL FLEXIBLE STEEL CONDUIT DROPS FROM INDEPENDENT JUNCTION BOX MOUNTED ABOVE CEILING TO
- RECESSED LIGHT FIXTURES 9. SECURE CONDUITS WITH AT LEAST ONE CORROSION PROOF MALLEABLE ALLOY STRAP OR HANGER EVERY 8 FT. DO NOT USE PERFORATED STRAPPING.

10. PROVIDE UL LISTED FIRE-WALL PENETRATIONS WHEN CONDUIT PASS THROUGH A FIRE RATED WALL.

BRANCH CII	RCUIT FE	EDER SCHEDULE					
AMP / POLE	CONDUIT SIZE	CONDUCTORS & GROUNDING CONDUCTOR SIZES					
15A/1P OR 15A/2P	1/2"	(2) #12 & #12 GND					
20A/1P OR 20A/2P	1/2"	(2) #12 & #12 GND					
15A/3P OR 20A/3P	1/2"	(3) #12 & #12 GND					
25A/1P OR 25A/2P	3/4"	(2) #10 & #10 GND					
30A/1P OR 30A/2P	3/4"	(2) #10 & #10 GND					
25A/3P OR 30A/3P	3/4"	(3) #10 & #10 GND					
35A/1P OR 35A/2P	3/4"	(2) # 8 & #10 GND					
40A/1P OR 40A/2P	3/4"	(2) # 8 & #10 GND					
35A/3P OR 40A/3P	3/4"	(3) #8 & #10 GND					
45A/1P OR 45A/2P	1"	(2) #6 & #10 GND					
45A/3P OR 50A/3P	1"	(3) #6 & #10 GND					
50A/1P OR 50A/2P	1"	(2) #6 & #10 GND					
60A/1P OR 60A/2P	1"	(2) #4 & #8 GND					
60A/3P	1-1/4"	(3) #4 & #8 GND					
70A/3P OR 80A/3P	1-1/4"	(3) #4 & #8 GND					
90A/3P	1-1/4"	(3) #3 & #8 GND					
100A/3P OR 110A/3P	1-1/2"	(3) #2 & #6 GND					
125A/3P	1-1/2"	(3) #1 & #6 GND					
- PROVIDE BRANCH CIRCUIT FEEDERS AS NOTED ABOVE, UNLESS							

### SHEET INDEX

SHEET NAIVIE
LEGEND AND SPECIFICATIONS
SPECIFICATIONS
FIRST FLOOR PLAN - LIGHTING
FIRST FLOOR PLAN - POWER

LEG	END		
SYM.	YMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS. A	ALL MOUNT SYM.	ING HEIGHTS ARE TYPICAL UNLESS NOTED OTHERWISE. <u>IDENTIFICATION</u>
<u>LIGHTING</u>	RECESSED, SURFACE, OR PENDANT MOUNTED LIGHT FIXTURE	4_	EMERGENCY LIGHT MOUNT 11'-0" AFF. TO TOP OR 8" BELOW CEILING, WHICHEVER IS LOWER
Q	WALL MOUNTED LIGHT FIXTURE. MOUNT 7'-0" AFF. OR 8" ABOVE MIRROR	₽	RECESSED EMERGENCY LIGHT
0	RECESSED, SURFACE MOUNTED, OR CHAIN HUNG LIGHT FIXTURE	Œ	EXIT LIGHT
$\overline{\nabla}$	PENDANT FIXTURE	<b>(a)</b>	OCCUPANCY SENSOR
	EXTERIOR WALL MOUNTED OR INTEROR WALL	<b>⊕</b> ⊣	WALL MOUNTED OCCUPANCY SENSOR WITH SWITCH
سعت	WASH FIXTURE  SINGLE HEAD POLE		D = DIMMER  DUAL LEVEL/CIRCUIT OCCUPANCY SENSOR WITH
		<b>⊕</b> ⊢	SWITCH PHOTO CONTROL
WIRING DE	TWIN HEAD POLE MOUNTED FIXTURE	<b>□</b> <sub>PC</sub>	PHOTO CONTROL
WIKING DE	SINGLE POLE SWITCH.	MW	
\$	MOUNT 46" AFF. TO CENTER, 3 = 3 WAY, 4 = 4 WAY, P = PILOT, D = DIMMER, K = KEYED  DUAL LEVEL SWITCH.	P	DUPLEX RECEPTACLE. MOUNT IN CABINET BEHIND MICROWAVE, FIELD VERIFY HEIGHT  POWER RECEPTACLE.
\$\$	MOUNT 46" AFF. TO CENTER SEE DETAIL	₩	MOUNT 18" AFF. TO CENTER
\$	LOW VOLTAGE SWITCH. MOUNT 46" AFF. TO CENTER	<del></del>	SWITCH BOTTOM HALF OF RECEPTACLE, TOP HALF UNSWITCHED
Φ	SIMPLEX RECEPTACLE. MOUNT 18" AFF. TO CENTER	•	SPECIAL OUTLET
φ	DUPLEX RECEPTACLE. MOUNT 18" AFF. TO CENTER	(J)	JUNCTION BOX
+	DOUBLE DUPLEX RECEPTACLE. MOUNT 18" AFF. TO CENTER	<b>#</b>	SWITCH BOTTOM HALF OF GFI RECEPTACLE, TOP HALF UNSWITCHED
	GFI DUPLEX RECEPTACLE.	Н.	DUPLEX RECEPTACLE SURFACE MOUNTED
Ψ	MOUNT 18" AFF. TO CENTER	Ф	CLG = CEILING/SOFFIT MOUNTED
#	GFI DOUBLE DUPLEX RECEPTACLE. MOUNT 18" AFF. TO CENTER	•	BLANK BOX 4" EXTRA DEEP BOX, SINGLE GANG RING, BLANKPLATE, 1" C STUB INTO ACCESSIBLE SPACE, MOUNT 18" AFF. TO CENTER
•	DUPLEX RECEPTACLE MOUNT VERTICALLY 6" ABOVE BACKSPLASH TO CENTER. IF NO BACKSPLASH MOUNT 6" ABOVE COUNTER	•	ABOVE COUNTER BLANK BOX, 4" EXTRA DEEP BOX, SINGLE GANG RING, BLANKPLATE, 1"C STUBBED INTO ACCESSIBLE SPACE, MOUNT 6" ABOVE BACKSPLASH TO CENTER
<b>I</b>	GFI DUPLEX RECEPTACLE MOUNT VERTICALLY 6" ABOVE BACKSPLASH TO CENTER. IF NO BACKSPLASH MOUNT 6" ABOVE COUNTER	<b>⊕</b> •	COMBINATION FLOOR OUTLET/BLANK JUNCTION BOX - WIREMOLD - RESOURCE RFB/SERIES OR EQUIVALENT, 1" C STUB INTO ACCESSIBLE SPACE
MOTORS /	MOTOR CONTROL / EQUIPMENT	ı	
<u> </u>	DISCONNECT FURNISHED BY EC	MS	MANUAL STARTER
$oxed{\square}$	F = FUSIBLE  NON-COMBINATION STARTER	<b>1</b>	MOTOR CONNECTION
			MOTOR CONNECTION REQUIRING REMOTE
<u></u>	COMBINATION STARTER	<i>N</i>	STARTER/VFD
	SURFACE MOUNTED PANELBOARD		EQUIPMENT CONNECTION
<u> </u>	RECESSED PANELBOARD		SURFACE MOUNTED RACEWAY
	M / LIFE SAFETY  STROBE. MOUNT 84" AFF. TO TOP OR 6" BELOW		
<u>g</u>	CEILING WHICHEVER IS LOWER	М	MAGNETIC DOOR HOLDER
Image: Control of the	SPEAKER. CEILING MOUNTED  W = WALL MOUNTED	FS	SPRINKLER FLOW SWITCH
Ž	HORN/STROBE. MOUNT 84" AFF. TO TOP OR	TS	SPRINKLER TAMPER SWITCH
	6" BELOW CEILING WHICHEVER IS LOWER SPEAKER/STROBE. MOUNT 84" AFF. TO TOP OR		
Ž	6" BELOW CEILNG WHICHEVER IS LOWER	£	SPRINKLER BELL
	HORN (SOUNDER). MOUNT 84" AFF. TO TOP OR 6" BELOW CEILING WHICHEVER IS LOWER	FACP	FIRE ALARM CONTROL PANEL
F	PULL STATION. MOUNT 46" AFF. TO CENTER	FAA	FIRE ALARM ANNUNCIATOR PANEL
H	HEAT DETECTOR	ARS	AREA OF REFUGE STATION
S	SMOKE DETECTOR	ARL	AREA OF REFUGE LIGHTING
(S) <sub>D</sub>	DUCT SMOKE DETECTOR	ARM	AREA OF REFUGE MASTER PANEL
(S) <sub>E</sub>	ELEVATOR SMOKE DETECTOR	ECM	EMERGENCY COMMUNICATIONS MASTER
(S) <sub>SB</sub>	SMOKE DETECTOR WITH SOUNDER BASE	ECS	EMERGENCY COMMUNICATIONS STATION
©	CARBON MONOXIDE DETECTOR		
ЛISCELLAN	EOUS		
	CONDUIT STUB THROUGH WALL BUSHED	•	PUSHBUTTON, PROVIDE JUNCTION BOX AND
	EACH END  CONDUIT WITH BUSHING ON END.		CONDUIT, MOUNT AT SWITCH HEIGHT GROUND ROD
	ELECTRICAL HOMERUN, CIRCUIT AS SHOWN	_	EXO-THERMIC WELD CONNECTION
	SHARED ELECTRICAL HOMERUN WHEN WIRE TAG	<b>*</b>	
PNL-X	HAS (*) ASTERISK PRECEDING PANEL-CIRCUIT INFO		NURSE CALL DOME LIGHT
-1/	RELAY CIRCUIT	(P)	NURSE CALL PULL CORD
	ITEMS AND/OR DEVICES CIRCUITED TOGETHER	$\Diamond$	DETAIL OR SECTION NUMBER SHEET NUMBER
<b>-</b>	ITEMS AND/OR DEVICES CIRCUITED TOGETHER, BUT	_	
ABBREVIAT	SWITCHED SEPARATELY TIONS		
AC AC	ABOVE COUNTER	IG	ISOLATED GROUND
AFF.	ABOVE FINISHED FLOOR	IMP	INSULATED METAL PANEL
AFG	ABOVE FINISHED GRADE	LCP	LIGHTING CONTROL PANEL
BZ	BUG ZAPPER	LOTO	LOCKOUT/TAGOUT
DISC	DISCONNECT	NL	NIGHT LIGHT
DW	DISHWASHER	NTS	NOT TO SCALE
ELEV	ELECTRICAL CONTRACTOR	OC OECI	ON CENTER
ELEV EM	ELEVATION EMERGENCY	OFCI PC	OWNER FURNISHED, CONTRACTOR INSTALLED PLUMBING CONTRACTOR
ETR	EXISTING TO REMAIN	PNL	PANELBOARD
EWC	ELECTRIC WATER COOLER	REF	REFRIGERATOR
=F	FOOT FOAMER	UC	UNDER COUNTER
FPC	FIRE PROTECTION CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GC	GENERAL CONTRACTOR/CONSTRUCTION MANAGER	3R	NEMA 3R
GDSP	GARBAGE DISPOSAL	4X	NEMA 4X
GFI	GROUND FAULT CIRCUIT INTERRUPTER	WT	WATER TIGHT
HC	HVAC CONTRACTOR	XFMR	TRANSFORMER
FIRE RATED	D WALLS  FIRE - 1 HOUR		FIRE - 3 HOUR
	FIRE - 2 HOUR		FIRE - 4 HOUR
SECURITY			

Always a Better Plan

100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

**PROJECT INFORMATION** 

**PROFESSIONAL SEAL** 

SHEET DATES ISSUED FOR CONSTRUCTION MAR. 6, 2025

**JOB NUMBER** 240300000

SHEET NUMBER

K KEY PAD

CAMERA

LED INDICATOR LIGHT

FINGER PRINT SCANNER

(())) CEILING MOUNTED SPEAKER

()) WALL MOUNTED SPEAKER

DOOR ALARM

DOOR CONTACT

ELECTRIC STRIKE

REQUEST TO EXIT

ACCESSIBLE SPACE

LOCAL VOLUME CONTROL

TELEPHONE OUTLET, 1" C. STUB INTO ACCESSIBLE

DATA OUTLET, 1" C STUB INTO ACCESSIBLE SPACE,

COMBINATION TELEPHONE/DATA, 1" C STUB INTO

SPACE, W = WALL MOUNT 52" AFF. TO CENTER

X = NUMBER OF DATA DROPS PER BOX

CARD READER

INTERCOM

TV TELEVISION OUTLET MOUNT 18" AFF. TO CENTER

**ELECTRICAL LEGEND AND SPECIFICATIONS** 

### **26 05 33 BOXES**

- A. FLUSH INTERIOR 4" SQUARE STEEL BOXES WITH RAISED COVERS AND SQUARE CUT CORNERS. PROVIDE BOXES RATED
- B. PROVIDE CAST BOXES FOR EXTERIOR USE DEVICES. PROVIDE COVERS WITH GASKETS.
- C. JUNCTION AND SPLICE BOXES SHALL HAVE GALVANIZED SCREW COVERS AND BE NOT LESS THAN CODE DIMENSIONS.
- THROUGH-WALL AND BACK-TO-BACK BOXES NOT ALLOWED. D. OUTLET AND JUNCTION BOXES USED AS SURFACE METAL RACEWAY SHALL BE MANUFACTURED BY THE SURFACE METAL
- RACEWAY MANUFACTURER TO BE COMPATIBLE WITH THE RACEWAY USED. E. VERIFY LOCATION PRIOR TO ROUGH-IN. MATCH THE HEIGHT OF EXISTING DEVICES FOR INSTALLATIONS IN ADDITIONS
- F. SURFACE MOUNT RECEPTACLES AND OTHER ELECTRICAL DEVICES IN COOLERS/FREEZERS.

### 26 05 35 PENETRATIONS

- 1. FURNISH RIGID CONDUIT SLEEVES FOR CABLES PASSING THROUGH MASONRY, CONCRETE, OR OTHER SIMILAR
- 2. FURNISH SLEEVE TO MASON FOR NEW MASONRY WALLS.
- FURNISH, INSTALL, AND GROUT SLEEVE IN EXISTING MASONRY AND NEW CONCRETE WALLS. 4. SLEEVE NOT REQUIRED FOR DRYWALL WALLS OR CORE DRILLED HOLE IN CONCRETE WALL.
- B. NON-FIRE RATED INTERIOR WALL AND FLOOR PENETRATIONS: FILL VOID BETWEEN CONDUIT AND SLEEVE, CONCRETE, OR DRYWALL WITH EXPANDING POLYURETHANE FOAM. CAULK BETWEEN CONDUIT AND SLEEVE OR WALL WITH NON-
- C. FIRE RATED INTERIOR WALL AND FLOOR PENETRATIONS: SEAL OPENING AROUND PIPE WITH A UL APPROVED FIRE-STOP
- SYSTEM HAVING AN F-RATING NOT LESS THAN THE HOURLY RATING OF THE ASSEMBLY BEING PENETRATED. D. SMOKE WALL PENETRATIONS: CONDUITS OR CABLES PENETRATING PENETRATION SHALL NOT DESTROY THE BARRIER'S
- E. CONTRACTOR SHALL USE CAUTION PRIOR TO MAKING PENETRATIONS AS TO NOT DISTURB ANY EXISTING UTILITIES THAT MIGHT BE PRESENT IN EXISTING WALLS, CEILINGS OR FLOORS. THIS CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES IN EXISTING WALLS, CEILINGS OR FLOORS.
- F. SEAL ALL RACEWAY, CABLE AND CONDUIT PENETRATIONS THROUGH ALL WALLS IN THE ELECTRICAL ROOM(S). G. SEAL COOLER/FREEZER CONDUIT PENETRATIONS PER DETAILS.

### **26 05 53 IDENTIFICATION FOR ELECTRICAL SYSTEMS**

- A. ENGRAVED LABELS: ENGRAVED 3-LAYER PHENOLIC LABEL WITH BLACK LETTERS ON WHITE MATERIAL, UNLESS OTHER COLORS ARE CALLED OUT ON THE DRAWINGS OR DETAILS. LABELS MINIMUM 3/4" HIGH AND 3" LONG. LABELS MAY BE ATTACHED WITH DOUBLE BACKED ADHESIVE TAPE UNLESS INDICATED OTHERWISE. LABELS REQUIRED AT:
- DISTRIBUTION PANELBOARDS a. LABEL MOUNTED AT THE TOP OF THE MAIN SECTION TO INCLUDE:
- 1). BOARD DESIGNATION
- VOLTAGE 3). BUS AMPERE RATING
- 4). INTERRUPTING RATING
- 5). FAULT CURRENT AMPERE RATING 6). "FED FROM" LABEL.
- b. PROVIDE LABEL ADJACENT TO EACH OVERCURRENT DEVICE. LABEL SHALL INCLUDE: 1). LOAD IDENTITY OR "SPARE"
- 2). WHERE THE LOAD IS A SINGLE MOTOR, IDENTIFY MOTOR HP
- a. MOUNT IDENTIFICATION LABEL AT THE TOP OF THE FRONT COVER. MOUNT ON THE INSIDE OF DOOR FOR
- RECESSED PANELBOARDS. b. FAULT CURRENT AMPERE RATING
- c. "FED FROM" LABEL. DISCONNECTS:
- a. LABEL EQUIPMENT THAT IT SERVES. b. "FED FROM" LABEL.
- B. PROVIDE TYPEWRITTEN DIRECTORY ACCURATELY INDICATING ROOMS AND/OR EQUIPMENT BEING SERVED AT THE FOLLOWING LOCATIONS:
- C. PROVIDE ARC-FAULT LABELS ON ALL SWITCHBOARDS, DISTRIBUTION PANELS, PANELBOARDS, MOTOR CONTROL
- CENTERS, DISCONNECTS AND STARTERS.
- 1. LABEL SHALL MEET THE MOST CURRENT NFPA 70E REQUIREMENTS 2. PROVIDE COLORED LABELS. VERIFY LABEL TYPE IS ACCEPTABLE TO THE OWNER'S REPRESENTATIVE PRIOR TO
- D. PROVIDE PREPRINTED SELF-ADHESIVE LABEL ON ALL "POS" RECEPTACLES STATING "POS USE ONLY"

### 26 24 16 PANELBOARDS

- A. MANUFACTURER: SEE SHEET E4.0 FOR NATIONAL ACCOUNT INFORMATION.
- B. CABINET
- 1. NEMA 1 CABINET, OR AS LISTED IN PANEL SCHEDULES, CODE GAUGE STEEL CONSISTING OF A BOX WITH A
- REMOVABLE FRONT WITH HINGED DOOR AND LATCH. 2. FABRICATE WITH STRAIGHT EDGES AND SQUARE CORNERS.
- 3. BOXES SHALL BE MINIMUM 20" WIDE.
- 4. MANUFACTURER'S STANDARD FINISH, PRIME COAT AND BAKED ENAMEL FINISH.
- 5. RECESSED DOUBLE TUB PANELBOARDS SHALL HAVE TUBS OF THE SAME HEIGHT. C. PROVIDE A NAMEPLATE LISTING OF THE PANEL TYPE AND NUMBER OF PROTECTIVE AND SWITCHING DEVICES AND
- D. BUS BARS FOR THE MAINS SHALL BE COPPER OR ALUMINUM SIZED IN ACCORDANCE WITH UL STANDARDS. INCLUDE FULL SIZE NEUTRAL BARS UNLESS OTHERWISE NOTED. PROVIDE GROUND BUS.
- E. NEUTRAL BUSSING SHALL HAVE ONE LUG FOR EVERY BRANCH CIRCUIT THAT THE PANELBOARD IS CAPABLE OF
- F. BUS SPACES FOR FUTURE SWITCHING AND PROTECTIVE DEVICES FOR THE MAXIMUM DEVICES AND SWITCHES THAT THE PANELBOARD CAN ACCOMMODATE.
- G. THERE SHALL BE U.L. LISTED SERIES RATING BETWEEN CKT. BREAKERS LOCATED AT THE DISTRIBUTION PANEL AND THE DOWNSTREAM 10k A.I.C. RATED CIRCUIT BREAKERS AT PANELS "A", "B" DUAL-LINE
- EQUIPMENT CABINET BASED ON THE MAXIMUM FAULT CURRENT AS DETERMINED AT THE SERVICE ENTRANCE AND DOWNSTREAM 22K A.I.C. RATED CIRCUIT BREAKERS AT PANEL "D.
- 1. UNLESS INDICATED OTHERWISE, CIRCUIT BREAKERS SHALL BE PLUG-ON, INDIVIDUALLY REPLACEABLE, THERMAL-MAGNETIC, AUTOMATIC FREE TRIPPING, SEPARATELY INDICATING "ON", "TRIPPED", AND "OFF", AMBIENT COMPENSATED AT 40 DEGREES C., SINGLE, DOUBLE, OR TRIPLE POLE, AS REQUIRED BY THE PANEL SCHEDULES.
- 2. CIRCUIT BREAKERS INDICATED AS MULTIPLE POLE SHALL BE COMMON TRIP. 3. SHUNT TRIP BREAKERS SHALL HAVE INTEGRAL RELAYS.
- PROVIDE FOUR (4) ONE-INCH CONDUIT STUBS FROM PANELBOARD TO AN ACCESSIBLE SPACE FOR EACH RECESSED PANELBOARD.

### 26 27 26 WIRING DEVICES

- A. MANUFACTURERS: COOPER, HUBBELL, LEVITON AND PASS & SEYMOUR.
- 1. SWITCH AND RECEPTACLE COLORS SHALL BE IVORY.
- COVER PLATE COLORS SHALL BE IVORY. C. WALL SWITCHES:
- 1. 20-AMPERE HUBBELL 1221 SINGLE POLE, 1223 THREE-WAY AND 1224 FOUR-WAY. 2. SEE LEGEND FOR MOUNTING HEIGHTS.
- 3. PROVIDE PILOT LIGHT SWITCHES WHERE INDICATED. D. DIMMERS:
- 1. 20 AMPERE SLIDE DIMMER WITH INTEGRAL ON/OFF SWITCH. DIMMER SHALL BE RATED FOR AN LED LOAD OF 1200
- WATTS MINIMUM, UNLESS NOTED OTHERWISE. 2. FOR LED DIMMING LOADS GREATER THAT 1200W PROVIDE LEVITON AWSMT-7DW OR APPROVED EQUIVALENT.
- PROVIDE COLOR CHANGE KIT AS NECESSARY TO MEET DEVICE COLOR SPECIFICATIONS. 3. DIMMERS RATED OVER 1200W SHALL NOT BE MULTI-GANGED. INSTALL PER MANUFACTURERS INSTALLATION
- 4. CONTRACTOR SHALL VERIFY WITH THEIR SUPPLIER(S) ALL DIMMERS AND DIMMABLE FIXTURES ARE 100%
- COMPATIBLE.
- 1. DUPLEX GROUNDED RECEPTACLES, 20 AMPERE SPECIFICATION GRADE, HUBBELL 5362.
- 2. GFCI RECEPTACLES: 20-AMPERE HUBBELL SPECIFICATION GRADE WITH LOCK OUT CAPABILITY UPON GFCI FAILURE. 3. USB CHARGER DUPLEX RECEPTACLE, 20 AMPERE WITH 2 USB 3 AMP CHARGING PORTS, LEVITON T5832.
- 4. EXTERIOR RECEPTACLES SHALL BE MARKED "WEATHER-RESISTANT" PER NEC. 5. SEE LEGEND FOR MOUNTING HEIGHTS.
- 6. MATCH EXISTING MOUNTING HEIGHTS IN EXISTING BUILDINGS WHERE HEIGHTS COMPLY WITH ADA.
- 7. REVIEW RECEPTACLE LAYOUT WITH OWNER PRIOR TO ROUGH-IN. 8. VERIFY ACTUAL LOCATION OF EQUIPMENT WITH OWNER PRIOR TO ROUGH-IN.
- 9. MAKE CONNECTIONS THROUGH THE USE OF PIG-TAILS.
- F. COVER PLATES
- 1. INTERIOR: SMOOTH NYLON MATERIAL. MECHANICAL EQUIPMENT ROOM: STEEL.
- 3. EXTERIOR: WEATHER-PROOF, GASKETED, LIFT COVER. RECEPTACLE COVER SHALL ALLOW CONTINUED USE WHEN
- 5. BLANK, TELEVISION AND TELEPHONE OUTLETS: 4" SQUARE EXTRA DEEP BOX, SINGLE GANG RING AND BLANK COVER PLATE. PROVIDE CONDUIT FROM EACH BOX INTO AN ACCESSIBLE SPACE. TERMINATE CONDUIT WITH INSULATED CONNECTORS ON BOTH ENDS.

### 26 27 27 OCCUPANCY SENSORS / VACANCY SENSORS

- A. MANUFACTURERS: COOPER, HUBBELL, LEVITON, SENSOR SWITCH, & THE WATT STOPPER.
  - a. WALL MOUNTED SENSORS SHALL BE THE SAME COLOR AS WIRING DEVICES. REFERENCE SPECIFICATION SECTION
  - b. CEILING MOUNTED SENSORS SHALL MATCH COLOR OF CEILING THEY'RE INSTALLED ON.
- 2. SHALL BE FROM THE SAME MANUFACTURER AS THE WIRING DEVICES.
- B. SENSOR TECHNOLOGY ULTRASONIC (US).
- a. RESTROOMS
- b. HALLWAYS PASSIVE INFRARED (PIR)
- a. STORAGE ROOMS
- b. WAREHOUSES 3. DUAL TECHNOLOGY (PASSIVE INFRARED & ULTRASONIC)
- a. OFFICES
- b. CONFERENCE ROOMS
- c. OTHER SPACES C. SENSOR PERFORMANCE
- a. UTILIZE MULTIPLE SEGMENTED LENS, WITH INTERNAL GROOVES TO ELIMINATE DUST AND RESIDUE BUILD-UP.
- a. UTILIZE AN OPERATING FREQUENCY OF 32 KHZ OR 40 KHZ THAT SHALL BE CRYSTAL CONTROLLED TO OPERATE
- WITHIN PLUS OR MINUS 0.005% TOLERANCE. UTILIZE DOPPLER SHIFT ULTRASONIC DETECTION TECHNOLOGY. a. UTILIZE MULTIPLE SEGMENTED LENS, WITH INTERNAL GROOVES TO ELIMINATE DUST AND RESIDUE BUILD-UP.
- b. UTILIZE AN OPERATING FREQUENCY OF 32 KHZ OR 40 KHZ THAT SHALL BE CRYSTAL CONTROLLED TO OPERATE WITHIN PLUS OR MINUS 0.005% TOLERANCE.
- c. INCORPORATE DOPPLER SHIFT ULTRASONIC AND PASSIVE INFRARED MOTION DETECTION TECHNOLOGIES.
- PRODUCTS THAT REACT TO NOISE OR AMBIENT SOUND SHALL NOT BE CONSIDERED.
- 4. SENSOR DEVICES SHALL HAVE EITHER INTEGRAL DUAL RELAYS OR CONTROL SEPARATE DUAL RELAY POWER PACKS TO ACHIEVE DUAL LEVEL LIGHTING WHEN DUAL LEVEL CONTROL IS INDICATED.
- 5. INTEGRAL ADJUSTABLE LIGHT LEVEL SENSOR WITH CAPACITY TO CONTROL ONE OR MORE RELAY WHEN THE SELECTED ADEQUATE DAYLIGHT IS PRESENT.
- 6. UTILIZE ZERO CROSSING CIRCUITRY WHICH INCREASES RELAY LIFE AND SENSORS LONGEVITY. 7. SHOULD POWER BE INTERRUPTED AND SUBSEQUENTLY RESTORED, SETTINGS AND PARAMETERS SAVED IN
- PROTECTED MEMORY SHALL NOT BE LOST. 8. SENSORS SHALL BE SIZED FOR THE ROOM THEY SERVE BY MANUFACTURER'S VENDOR OR COVER 1,500 SQUARE FEET WITH STANDARD LENS AND UP TO 90 LINEAR FEET WITH LONG RANGE LENS FOR WALKING MOTION WHEN
- MOUNTED AT A CEILING HEIGHT OF 12 FEET. 9. INDEPENDENT SENSITIVITY ADJUSTMENTS AND LED DISPLAY FOR EACH SENSING TECHNOLOGY. 10. SENSOR SHALL HAVE STANDARD 5 YEAR WARRANTY AND BE UL LISTED.
- 1. AUTOMATIC CONTROLS SHALL BE MANUAL ON, OR SHALL TURN ON NOT MORE THAN 50% OF THE OF THE CONTROLLED LAMPS WITH THE REMAINING LAMPS BEING CONTROLLED MANUALLY.
- a. EXCEPTION: PUBLIC CORRIDORS, STAIRWAYS, RESTROOMS, PRIMARY ENTRANCES AND LOBBIES SHALL HAVE FULL ON AUTOMATIC CONTROLS.
- 2. AUTOMATIC CONTROLS SHALL TURN LIGHTS OFF WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING THE SPACE. 3. RETRIGGER TIME DELAY: ONLY ONE MOTION IS NECESSARY TO TURN ON THE LIGHTS WITHIN 5 SECONDS AFTER
- 4. E.C. SHALL INCLUDE TIME IN HIS BID TO WORK WITH THE OWNER AND MANUFACTURER TO DETERMINE THE PROPER TIME AND SENSOR SETTINGS FOR EACH SENSOR IN THE SPACES IN WHICH THEY OPERATE. INCLUDE TIME IN BID TO HAVE THE MANUFACTURER'S REPRESENTATIVE ON SITE AND REVIEW THE JOB TO DETERMINE WHAT THE EXPECTED EQUIPMENT SETTINGS SHOULD BE.

### 26 28 16 ENCLOSED DISCONNECT SWITCHES

- A. ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES: LISTED AND LABELED AS DEFINED IN NFPA 70, ARTICLE 100, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND MARKED FOR INTENDED USE.
- B. NONFUSIBLE SWITCH: TYPE GD WITH LOCKABLE HANDLE. C. FUSIBLE SWITCH: TYPE HD WITH CLIPS TO ACCOMMODATE FUSES. HANDLE LOCKABLE IN OPEN AND CLOSED POSITION.
- HANDLE INTERLOCKED WITH COVER IN CLOSED POSITION WITH INTERLOCK BYPASS.
- D. ENCLOSURES: NEMA AB 1 AND NEMA KS 1 TO MEET ENVIRONMENTAL CONDITIONS OF INSTALLED LOCATION. 1. OUTDOOR LOCATIONS: NEMA 250 TYPE 3R.
- 2. KITCHEN AREAS: NEMA 250 TYPE 4X, STAINLESS STEEL.
- 3. OTHER WET OR DAMP INDOOR LOCATIONS: NEMA 250 TYPE 4. 4. HAZARDOUS AREAS INDICATED ON DRAWINGS: NEMA 250 TYPE 7C

E. MANUFACTURER'S STANDARD PRIME-COAT FINISH READY FOR FIELD PAINTING.

- F. LABEL EACH ENCLOSURE WITH ENGRAVED METAL OR LAMINATED-PLASTIC NAMEPLATE MOUNTED WITH CORROSION-
- G. INSTALL EQUIPMENT GROUNDING CONNECTIONS FOR SWITCHES AND CIRCUIT BREAKERS WITH GROUND CONTINUITY TO MAIN ELECTRICAL GROUND BUS.

2. CORRECT MALFUNCTIONING UNITS, ON-SITE WHERE POSSIBLE, AND RETEST TO DEMONSTRATE COMPLIANCE.

- H. DEMONSTRATE PRODUCT CAPABILITY AND COMPLIANCE WITH REQUIREMENTS AFTER INSTALLATION AND AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED.
- 1. PERFORM VISUAL AND MECHANICAL INSPECTION AND ELECTRICAL TEST. CERTIFY COMPLIANCE WITH TEST

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920-926-9800

excelengineer.com

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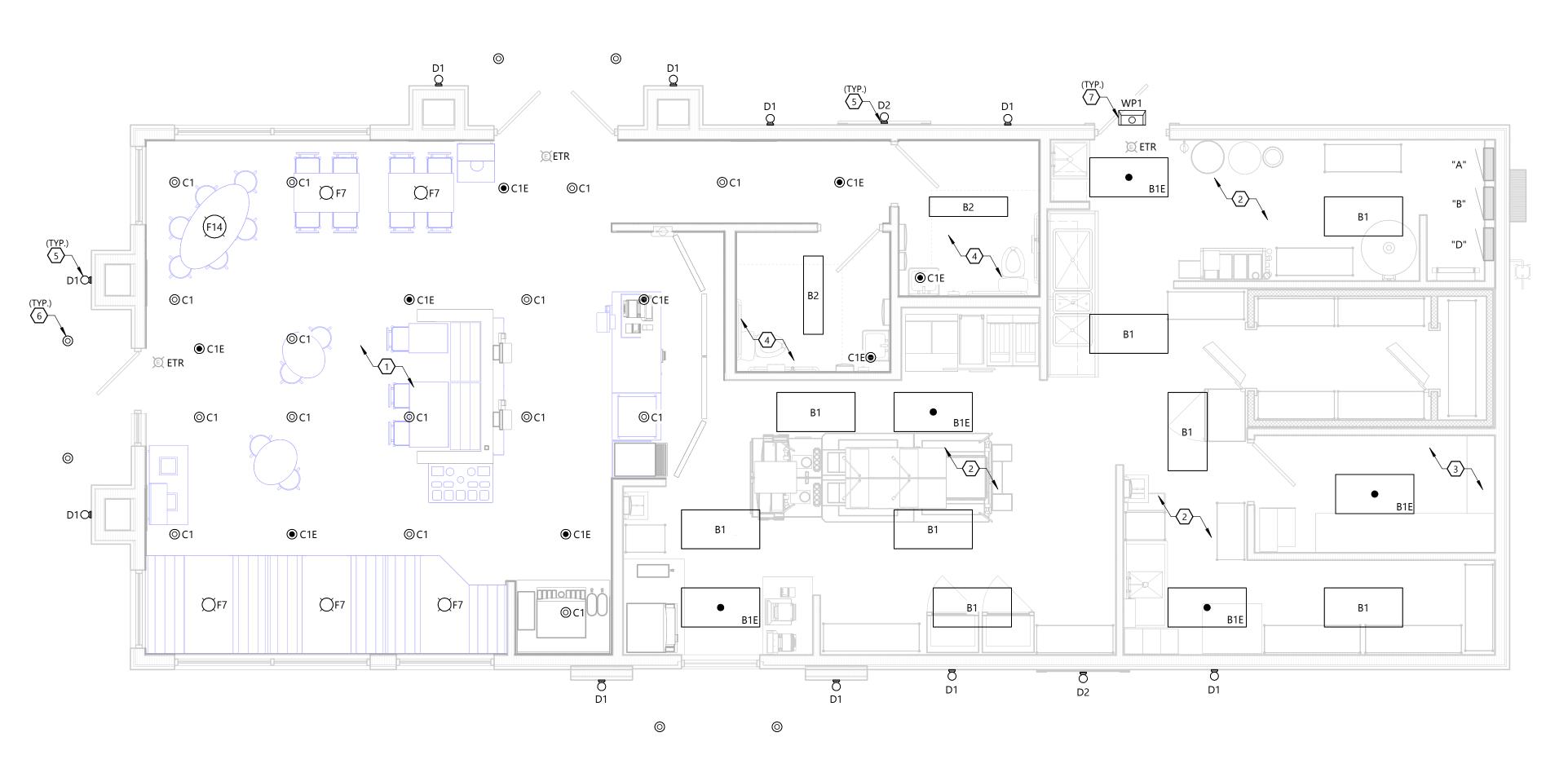
**PROJECT INFORMATION** 

**SHEET DATES** 

ISSUED FOR CONSTRUCTION

**JOB NUMBER** 240300000

**SHEET NUMBER** 



### GENERAL NOTES

- VERIFY ALL EXPOSED CONDUIT ROUTING WITH ARCHITECT/ENGINEER WHERE CONDUIT IS EXPOSED IN FINISHED ROOMS.
- SEE ARCHITECTURAL REFLECTED CEILING AND ELEVATION PLANS FOR LOCATION OF ALL LIGHTING FIXTURES. LOCATE FIXTURES IN ACCORDANCE WITH CEILING AND ELEVATION PLANS.
- DEVICE LOCATIONS MAY BE DISTORTED FOR CLARITY. LOCATE DEVICES SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS.
- SEE LIGHTING FIXTURE LEGEND FOR FIXTURE WIRING INFORMATION.
- CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER.
- EMERGENCY AND NORMAL LIGHTING MARKED WITH "NL" SUB SCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE <u>UN-SWITCHED</u> HOT TO NORMAL AND EMERGENCY BALLAST.
- CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
- PROVIDE DEMOLITION SUPPORT TO G.C. FOR ELECTRICAL ITEMS ENCOUNTERED.
- REMOVED AND RE-INSTALL ALL ELECTRICAL DEVICES AS NECESSARY FOR G.C. TO PERFORM WORK.
- REMOVED EXISTING LIGHT FIXTURES WHERE CEILINGS ARE TO BE

  REMOVED.
- VERITY EXISTING SERVICE AND POWER REQUIREMENTS WITH NEW EQUIPMENT/FURNISHINGS AND PROVIDE AS REQUIRED.

### <u>KEYNOTES</u>

- NEW DINING ROOM LIGHT FIXTURES OWNER SUPPLIED. VERIFY QUANTITIES & LOCATIONS IN THE FIELD. CIRCUIT AND CONTROL NEW LIGHT FIXTURES TO EXISTING LIGHTING CIRCUIT AND AUTOMATIC SHUT-OFF CONTROLS SERVING DINING ROOM.
- NEW KITCHEN LIGHT FIXTURES OWNER SUPPLIED. VERIFY QUANTITIES & LOCATIONS IN THE FIELD. CIRCUIT AND CONTROL NEW LIGHT FIXTURES TO EXISTING LIGHTING CIRCUIT AND AUTOMATIC SHUT-OFF CONTROLS SERVING THIS AREA.
- NEW OFFICE LIGHT FIXTURE OWNER SUPPLIED. VERIFY QUANTITIES & LOCATIONS IN THE FIELD. CIRCUIT NEW LIGHT FIXTURES TO EXISTING LIGHTING CIRCUIT AND CONTROLS SERVING THIS AREA.
- ANEW BATHROOM LIGHTING FIXTURES TO REPLACE EXISTING OWNER SUPPLIED. VERIFY QUANTITIES & LOCATION IN THE FIELD.
  CIRCUIT NEW LIGHT FIXTURE TO EXISTING LIGHTING CIRCUIT AND
  CONTROLS SERVING THIS AREA.
- NEW LIGHT FIXTURE TO REPLACE EXISITING. CIRCUIT AND CONTROL NEW LIGHT FIXTURE WITH EXISTING BRANCH CIRCUIT AND CONTROLS SERVING DEMOLISHED LIGHT.
- 6 EC SHALL SUPPLY AND INSTALL NEW LED BULB IN EXISTING FIXTURE. EC SHALL FIELD VERIFY TYPE AND QUANTITY.
- NEW EXTERIOR LIGHT FIXTURE. CIRCUIT AND CONTROL NEW LIGHT FIXTURE WITH EXISTING CIRCUIT SERVING EXTERIOR LIGHTS.

FIRST FLOOR PLAN - LIGHTING

SCALE: 1/4" = 1'-0"

4' 0' 4' 8'

	LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	VOLTAGE	LIGHT SOURCE	FIXTURE WATTS	MANUFACTURER SERIES - BASIS OF DESIGN		
INTERIOR							
В1	2X4 LED PANEL	120 V	LED	31 VA	MAXLIGHT / MLFP-24EP-40/41		
B1E	2X4 LED PANEL WITH EMERGENCY BATTERY	120 V	LED	31 VA	MAXLIGHT / MLFP-24EP-40/41-EM		
B2	1X4 LED PANEL	120 V	LED	25 VA	MAXLIGHT / MLFP-14-G5-15W-CS		
C1	DOWNLIGHT LED 14W 6" RECESSED 30K 90CRI BLACK TRIM WITH ELITE B6IC-AT-W 6" IC AIR SHUT HOUSING	120 V	LED	14 VA	ACCUSERV / CR6		
C1E	DOWNLIGHT LED 14W 6" RECESSED 30K 90CRI BLACK TRIM WITH ELITE B6IC-AT-W 6" IC AIR SHUT HOUSING	120 V	LED	14 VA	ACCUSERV / CR6		
F7	DECORATIVE PENDANT	120 V	LED	20 VA	HI-LITE / H2412-96-CB15-29WLBL-60P		
F14	DECORATIVE PENDANT	120 V	LED	20 VA	CAPITAL LIGHTING / HD24/78-EXT/59-INT/15'LCBLC/BLC25WINC MAX, 24" DEEP BOWL PENDANT, CONTACT:PAULA PROTEAU		
EXTERIOR					,		
D1	WALL SCONCE	120 V	-	100 VA	PROGRESS LIGHTING / P5642 BRONZE 20		
D2	WALL SCONCE	120 V	-	100 VA	TROY / B2772		
WP1	EXTERIOR LED WALL PACK - FULL CUT-OFF - BRONZE FINISH	277 V	LED	27 VA	LUMARK / LDWP-FC-3B-ED-7040		

### **GENERAL NOTES**

- FIXTURE MODEL NUMBER MAY NOT REFLECT ALL MOUNTING HARDWARE. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL
  NECESSARY MOUNTING EQUIPMENT, LENSES, STEMS, SAFETY CHAINS, END PLATES, AND ALL OTHER HARDWARE NECESSARY
  FOR A COMPLETE FIXTURE INSTALLATION. SEE MOUNTING DETAILS WHEN APPLICABLE.
- LINE VOLTAGE DRIVERS MAY BE SUBSTITUTED FOR "UNIVERSAL" OR "MULTI-VOLTAGE" DRIVERS.
- ALL LIGHT FIXTURE POLES SHALL BE RATED FOR WIND ZONE SITE IS LOCATED IN OR 100 MPH WINDS WHICHEVER IS GREATER.
- ALL FIXTURES SHALL BE UL OR ETL LISTED.
- ALL FIXTURES IN DIRECT CONTACT WITH INSULATION SHALL BE IC RATED OR INSULATION SHALL BE KEPT A MINIMUM OF 3" FROM ALL SIDES OF FIXTURES.
- REFER TO PANEL SCHEDULE SHEETS FOR EMERGENCY LIGHTING BATTERY INVERTER REQUIREMENTS.

### **LED REQUIREMENTS**

- ALL LED FIXTURES SHALL HAVE A MINIMUM 80 PERCENT COLOR RENDERING INDEX UNLESS NOTED OTHERWISE.
- PROVIDE DIMMABLE DRIVERS FOR ALL FIXTURE TYPES SHOWN TO BE "DIMMABLE".
- CONTRACTOR SHALL VERIFY WITH THEIR SUPPLIER(S) THAT ALL DIMMERS AND DIMMABLE FIXTURES ARE 100%
- PROVIDE DUAL CIRCUIT TYPE DRIVERS OR TWO DRIVERS PER FIXTURES WHEN FIXTURES ARE SHOWN ON PLANS TO BE "DUAL LEVEL" SWITCHED.
- ALL LED FIXTURES SHALL HAVE MINIMUM 50,000 L70.

EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

DTERM REMODEL FOR: **BELL - SUNDANCE**WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

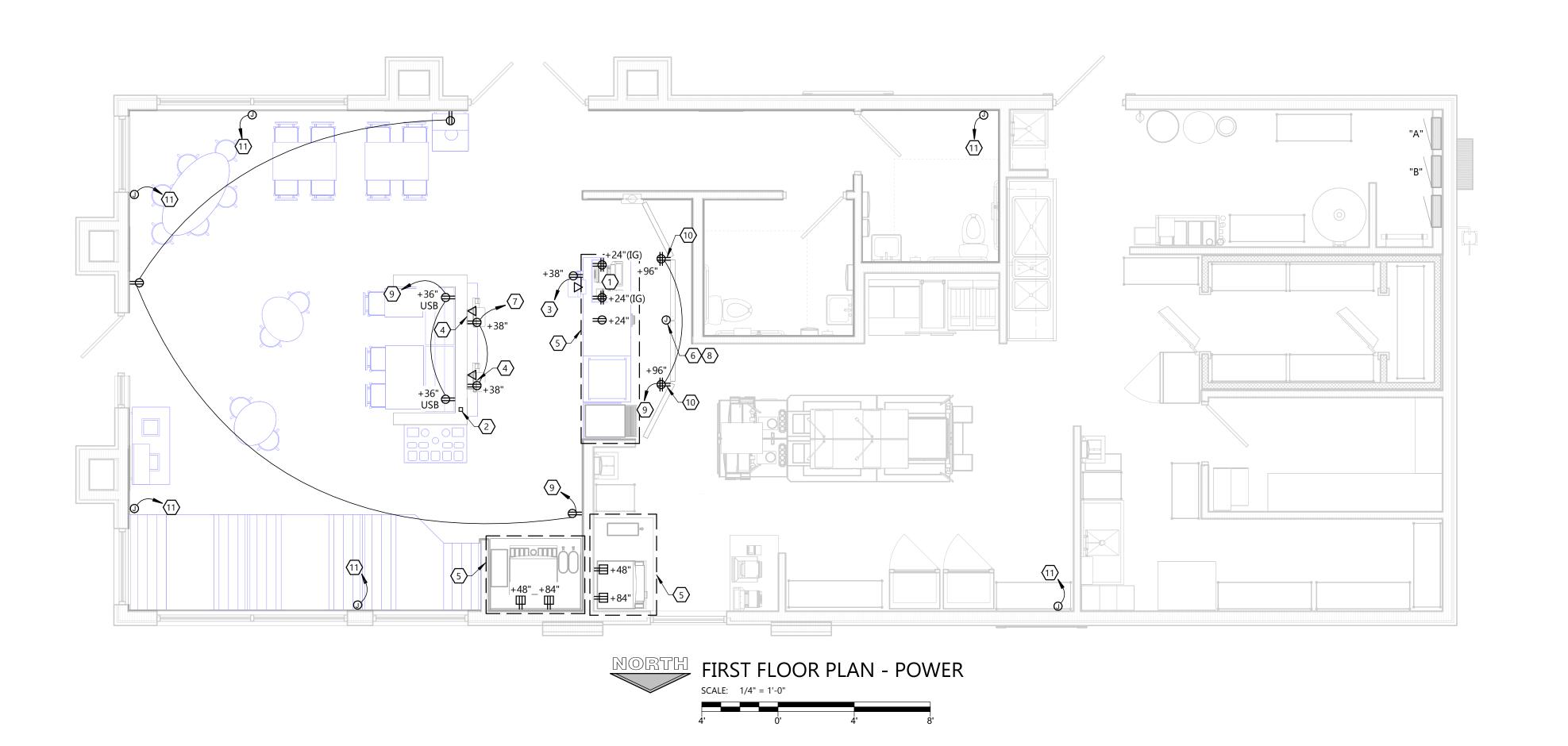
ISSUED FOR CONSTRUCTION

IFC MAR. 6, 2025

24030000

SHEET NUMBER

E1.1 L



### **GENERAL NOTES**

- VERIFY ALL EXPOSED CONDUIT ROUTING WITH ARCHITECT/ENGINEER
  WHERE CONDUIT IS EXPOSED IN FINISHED ROOMS.
- DEVICE LOCATIONS MAY BE DISTORTED FOR CLARITY. LOCATE DEVICES
   SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS.
- ALL DIMENSIONS TO J-BOXES ARE FROM FACE OF STUD TO CENTER OF BOX. U.O.N.
- ALL CONDUIT DROPS ARE INSIDE WALLS U.O.N. SEE ARCH. DWGS. FOR
  WALL DIVIS
- WALL DIMS.
   ALL J-BOX CIRCUITS, CONDUITS, FIXTURES, ETC. SHALL BE AS INDICATED
- ON THE ELECT. DWGS.
- PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY
   PENETRATIONS INTO WALLS, CEILING, AND FLOORS. DO NOT USE CAULKS
   OR EXPANSION FOAM FOR SEALANT.

• IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THIS

DATA ON THE LOCATION OF ELECT. ROUGH-INS WITH INFO PROVIDED

- ON THE ARCH. AND STRUCT. DWGS AND THE EQUIPMENT ACTUALLY SUPPLIED, AND TO CONFIRM THE CORRECTNESS OF ANY DIMENSIONS HEREIN.
- LOCATIONS OF ALL OUTLETS MAY BE RELOCATED TO NEAREST STUD. DO NOT CUT INTO STUDS.
- FOR EXACT LOCATIONS OF EQUIPMENT POINTS ON CONNECTION, REFER TO EQUIPMENT MANUFACTURERS SHOP DRAWINGS.
- DO NOT MEASURE/LOCATE OUTLETS ON DRAWINGS. USE DIMENSIONS PROVIDED.
- ELECTRICAL EQUIPMENT ENCLOSURES SHALL BE NEMA-1 FOR INTERIOR AND NEMA 3R FOR EXTERIOR.
- PER SECTION 210.8 (B)(3) LATEST NEC, ALL 15 AND 20A, 120V RECEPTACLES IN COMMERCIAL KITCHENS ARE REQUIRED TO BE GFCI PROTECTED. THIS INCLUDES ISOLATED GROUND RECEPTACLES.
- WIRE ALL 20A/1P BREAKERS TO NEAREST AVAILABLE PANEL BOARD. E.C. SHALL FIELD VERIFY PANEL(S) HAVING CIRCUITS ADDED HAVE ENOUGH SPARE CAPACITY TO ACCEPT ADDITIONAL CIRCUITS.
- EC SHALL PROVIDE NEW TYPE WRITTEN CIRCUIT DIRECTORY.
- EXISTING CONDUITS, CIRCUITS OR SYSTEMS IN WALLS OR CEILINGS BEING REMOVED WHICH SERVE SURROUNDING UN-REMODELED AREAS SHALL BE REWORKED AND MAINTAINED.
- EXISTING CONDUITS, CIRCUITS OR SYSTEMS PASSING THROUGH THE REMODELED AREAS WHICH SERVE UN-REMODELED AREAS SHALL REMAIN AND BE PROTECTED DURING DEMOLITION AND REMODELING, AND SHALL BE RELOCATED AND REROUTED.
- CONTINUITY OF CIRCUITS INTERRUPTED BY REMOVAL OF ELECTRICAL DEVICES SHALL BE MAINTAINED.
- NO CONDUIT SHALL BE FASTENED DIRECTLY TO OR THROUGH ROOFING MEMBRANE.
- ALL CUTS IN ROOFING MEMBRANE SHALL BE MINIMAL AND IN ACCORDANCE WITH ROOFING MANUFACTURER AND INSTALLER'S REQUIREMENTS.
- ALL EXPOSED ELECTRICAL CONDUITS SHALL PENETRATE ROOF MEMBRANE AT PIPE HOODS U.O.N.
- ALL CONDUITS FROM EXHAUST FANS SHALL BE ROUTED INSIDE OF CURB.
- ALL WIRING AND CONDUITS SHALL BE CONCEALED. NO CONDUITS
   PERMITTED TO RUN EXPOSED ACROSS ROOF DECK. ROUTE ALL
   CONDUITS THROUGH EQUIPMENT ROOF CURBS OR ARCHITECT SPECIFIED
   ROOF PENETRATIONS.
- ARMOR CABLE (BX) ALLOWED WHERE ACCEPTABLE BY CODE.

### <u>KEYNOTES</u>

- INSTALL IN CONDUIT RUNNING ON SURFACE OF KITCHEN SIDE OF CABINETRY REAR WALL.
- EC TO PROVIDE WIREMOLD 25DTC DUAL-CHANNEL STEEL POWER POLE TO BRING POWER AND DATA TO KIOSKS.
- (3) CIRCUIT NEW ORDER KIOSK TO EXISTING BRANCH CIRCUIT SERVING OTHER ORDER KIOSKS.
- 4 RECEPTACLE AND DATA SHALL BE STACKED HORIZONTALLY.
- EXISTING RELOCATED EQUIPMENT / REPLACED EQUIPMENT. EXTEND EXISTING BRANCH CIRCUIT(S) AS REQUIRED. REFER TO EQUIPMENT PLAN ON A9 1
- 6 EC/ GC TO RUN (3) ORANGE CAT 6 LINES FROM NETWORK SWITCH TO DATA JUNCTION BOX. CAT6 LINES SHOULD HAVE BOTH ENDS PROPERLY TERMINATED WITH RJ-45 CONNECTORS. EXCESS CAT6 CABLE TO BE COILED INTO SERVICE LOOPS AT EACH END AND LEFT ACCESSIBLE FOR DMB INSTALL TEAM. CAT6 TO BE RUN IN ACCORDANCE WITH ALL LOCAL MUNICIPALITY CODE REQUIREMENTS.
- EXISTING RELOCATED ORDER KIOSK. EC SHALL EXTEND EXISTING BRANCH CIRCUIT AS REQUIRED.
- 8 EC / GC TO INSTALL (1) OPEN DATA JUNCTION BOX (JB) IN VALANCE WALL. CONDUIT TERMINATED ABOVE CEILING TO HAVE BUSHING.
- (9) CIRCUIT TO EXISTING SPARE 20A/1P BREAKER IN EXISTING AVAILABLE PANELBOARD OR PROVIDE NEW 20A/1P BREAKER IN EXISTING AVAILABLE PANELBOARD.
- 60 EC / GC TO INSTALL A TOTAL OF (2) QUAD OUTLETS IN (2) QUAD BOXES IN VALANCE WALL AS SHOWN. OUTLETS TO BE STRAIGHT BLADE. OUTLETS TO BE ON AN ISOLATED/DEDICATED GROUNDED CIRCUIT THAT IS NOT CONNECTED TO ANY RESTAURANT POWER MANAGEMENT SYSTEM.
- PROVIDE POWER CONNECTION FOR WALL WASHER LIGHTS. VERIFY ALL REQUIREMENTS WITH SIGN VENDOR PRIOR TO ROUGH-IN.

UTILIZE EXISTING CIRCUITS TO POWER
ALL NEW
RECEPTACLES.
ALL OUTLETS AND BOXES MOUNTED
IN THE SERVING COUNTER CABINETRY
ARE TO BE 24" AFF. INSTALL
JUNCTION BOXES WITH CONDUIT
UNDER CABINET TO NEAREST WALL
AND TO ABOVE
CEILING.
E.C. SHALL PROVIDE A PREPRINTED
SELF-ADHESIVE LABEL ON ALL POS
RECEPTACLES STATING "POS USE
ONLY".

G.C. TO COORDINATE DIMENSIONS
WITH OWNERS REPRESENTATIVES.

FRONT COUNTER P.O.S DETAIL

JUNCTION BOX

DUPLEX GROUNDED OUTLET

CEILING DUPLEX OUTLET

SPECIAL PURPOSE OUTLET

BEHIND COUNTER EDGE)
2" x 4" J-BOX W/ DATA PORTS

**WALL LEGEND** 

GROUND FAULT DUPLEX OUTLET

GROUND FAULT DEDICATED OUTLET

DUPLEX ISOLATED GROUND OUTLET

HOLD-UP BUTTON (MOUNT 2-1/2"

DOUBLE DUPLEX ISOLATED GROUND OUTLET

ISSUED FOR CONSTRUCTION

IFC MAR. 6, 2025

PROFESSIONAL SEAL

Always a Better Plan

100 Camelot Drive

Fond du Lac, WI 54935

920-926-9800

excelengineer.com

PROJECT INFORMATION

JOB NUMBER 24030000

SHEET NUMBER
E1.1P

### **BRANDBOOK**



Site ID: 28453

3062 Kiley Way Plymouth, WI 53073

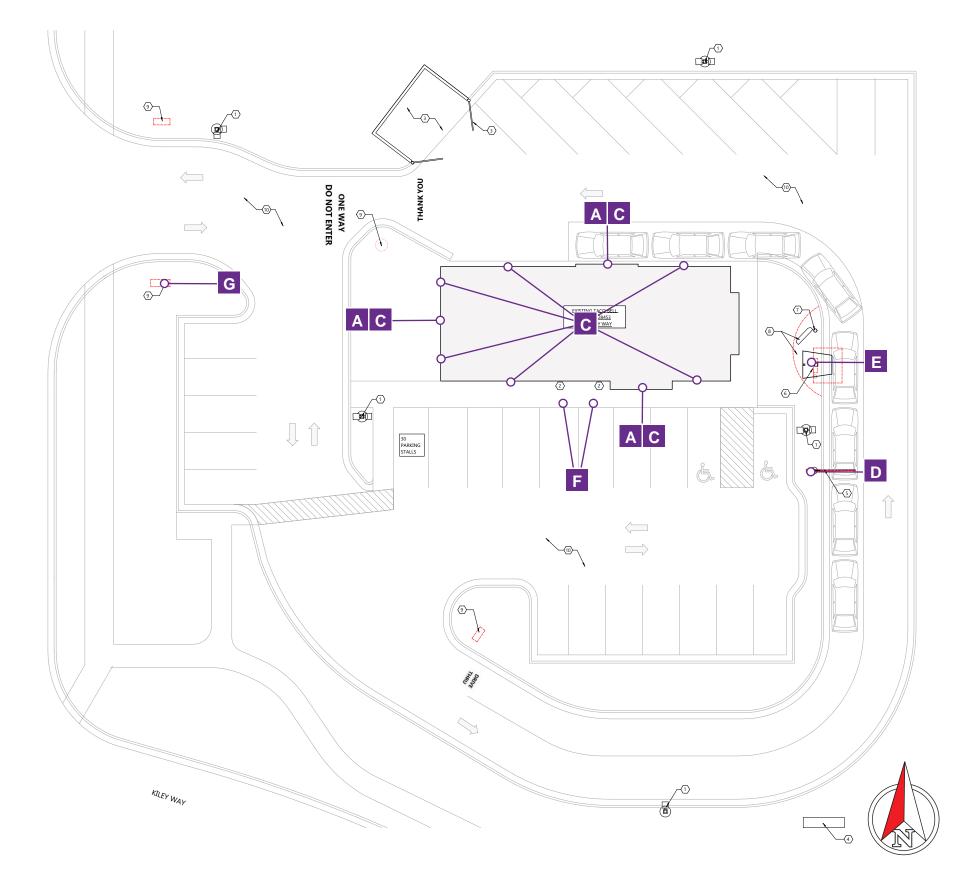
03/20/2025

2655 International Parkway Virginia Beach, VA 23452 757.427.1900 Toll Free: 800.877.7868

www.AGI.net



### **SITE MAP**



EXTERIOR SIGN LIST					
SIGN Qty SIGN CODE DESCRIPTION					
Α	3	TAC-BELL-42P-FL	Swinging Bell - Purple Face-Lit, Endeavor, 42" V-04.42		
В	3	TAC-CL-9.2CM-14	Radius Channel With 14" White Letterset - Mounted to 9'-2" Radius Canopy		
C	6	TAC-PCL-10	Purple LED Cove Lighting, 10'		
D	1	TAC-CLB1	Endeavor Clearance Bar - Non-illuminated, BLACK		
E	1	TAC-OPC-EN	EN Endeavor Order Point Canopy V-1070		
F	1	TAC-DV-MP-OP	Mobile Pickup Parking Space Sign 18"h x 12"w, 6'OAH		
G	1	TAC-P93-FTB-PF-RETRO	Replacement Pan Formed Faces For Retro P93, 12'-3" x 8'-0 3/4",		

LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025 PROJECT MANAGER Zachary Angelillo

Approved Approved as Noted **Print Name** Title Not Approved Signature Date Resubmit with Changes

**CUSTOMER APPROVAL** 





**EXISTING** 

EXTERIOR SIGN LIST

SIGN Qty SIGN CODE DESCRIPTION

A 1 TAC-BELL-42P-FL Swinging Bell - Purple Face-Lit, Endeavor, 42" V-04.42

B 1 TAC-CL-9.2CM-14 Radius Channel With 14" White Letterset - Mounted to 9'-2" Radius Canopy

C 2 TAC-PCL-10 Purple LED Cove Lighting, 10'

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



FRONT ELEVATION

Scale: 3/16" = 1'



LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL

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Title
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**EXISTING** 

EXTERIOR SIGN LIST				
SIGN	SIGN Qty SIGN CODE DESCRIPTION			
A 1 TAC-BELL-42P-FL Swinging Bell - Purple Face-Lit, Endeavor, 42" V-04.42		Swinging Bell - Purple Face-Lit, Endeavor, 42" V-04.42		
В	B 1 TAC-CL-9.2CM-14 Radius Channel With 14" White Letterset - Mounted to 9'-2" Rad			
С	2	TAC-PCL-10	Purple LED Cove Lighting, 10'	

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



PORTAL ELEVATION

Scale: 1/8" = 1'



LOCATION 3062 Kiley Way Plymouth, WI 53073

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**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL

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Date

Signature

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Not Approved

**Resubmit with Changes** 

Approved





**EXISTING** 

	EXTERIOR SIGN LIST				
SIGN	SIGN Qty SIGN CODE DESCRIPTION				
Α	1	TAC-BELL-42P-FL	Swinging Bell - Purple Face-Lit, Endeavor, 42" V-04.42		
В	B 1 TAC-CL-9.2CM-14 Radius Channel With 14" White Letterset - Mounted to 9'-2" Radi				
С	2	TAC-PCL-10	Purple LED Cove Lighting, 10'		

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



DRIVE-THRU ELEVATION

Scale: 1/8" = 1'



LOCATION 3062 Kiley Way Plymouth, WI 53073

DESIGNER CM DATE: 03/20/2025

**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL

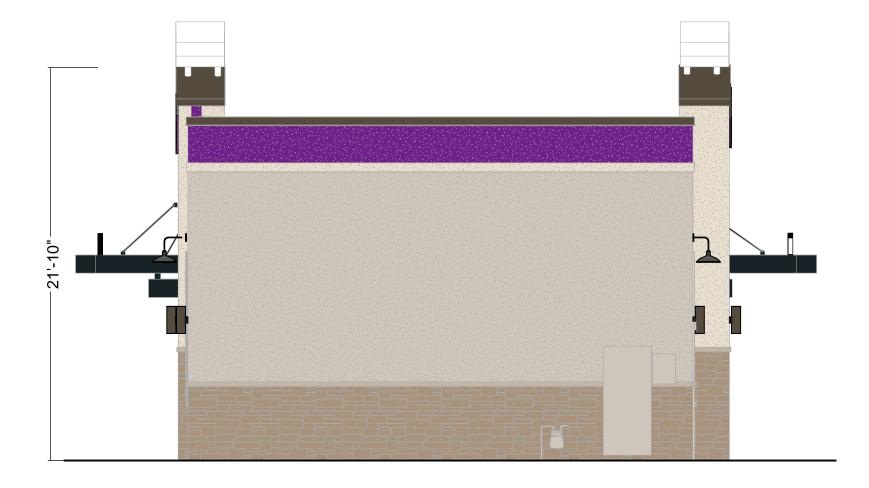
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**EXISTING** NO ACTION



REAR ELEVATION

Scale: 3/16" = 1'



LOCATION

3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025 **PROJECT MANAGER** Zachary Angelillo

**CUSTOMER APPROVAL** Approved Approved as Noted **Print Name** Not Approved Signature Date Resubmit with Changes



### A TAC-BELL-42-FL

42" Purple, Face Lit Swinging Bell

### **DETAILS**

Dimensions: Height: 3'-6" Width: 3'-10 3/8" SqFt: 13.5

Quantity: 3

**Illumination:** Internal

### **Electrical Requirements:**

Voltage - 120/277V

Power Supply - 12V remote power supply

Wiring - Low voltage with 1/2" liquid-tight conduit to power supply

Installation: Requires owner supplied 120V power within 5' of transformer box

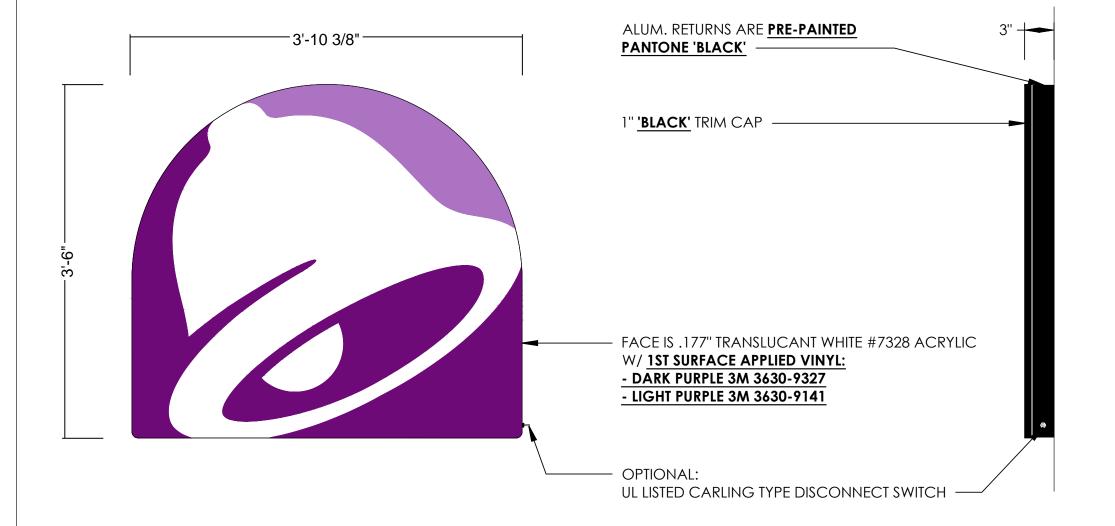
### **Specifications:**

MOUNTING HARDWARE				
Exterior - 3/8" ZINC PLATED STEEL THREADED ROTHRU WALL W/BLOCKING				
Interior - 3/8" SNAPTOGGLEBOLTS				
NOTES:				
1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL				
OTHER HARDWARE IS TO BE PROVIDED BY THE				
INSTALLER AS REQUIRED.				
2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY				
MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.				

### **Notes:**

- 1) PM to specify part number prior to fabrication.
- 2) PM to specify interior or exterior application prior to fabrication.
- 3) PM to specify optional external disconnect switch prior to fabrication.
- 4) Shop to provide touch up paint for installer.





### NOTES:

VERIFY MOUNTING CONDITION.
 OWNER SUPPLIED POWER TO BE WITHIN 5'-0"
 OF AGI TRANSFORMER BOXES.

1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.

3.) SEAL ALL WALL PENETRATIONS TO PREVENT
WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION
HAS HARDENED. DRILL HOLE SLIGHTLY LARGER
THAN BUSHING THROUGH INSULATION ONLY.
STOP AT PLYWOOD. CAULK OPENING PRIOR TO
INSERTING FASTENER TO SEAL PENETRATION.



LOCATION

3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL

Print Name

Title

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Date

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Page 50 of 129

### C

### **TAC-CL-9.2CM-14**

Radius Channel With 14" White Letterset - Mounted to 9'-2" Radius Canopy

### **DETAILS**

Dimensions: Height: 1'-2"

**Width**: 8'-6 5/16"

SqFt:

Quantity: 3

**Illumination:** Internal

### **Electrical Requirements:**

Voltage - 120/277V

Power Supply - 12V remote power supply

Wiring - Low voltage with 1/2" liquid-tight conduit to power supply

Installation: Requires owner supplied 120V power within 5' of transformer box

### **Specifications:**

MC	MOUNTING HARDWARE				
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING				
Interior -	3/8" SNAP TOGGLE BOLTS				
	NOTES:				
1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL					
OTHER H	OTHER HARDWARE IS TO BE PROVIDED BY THE				
INSTALLE	INSTALLER AS REQUIRED.				
2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY					
MOUNTIN	MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.				

### **Notes:**

- 1) PM to specify letter type before fabrication.
- 2) Shop to provide touch up paint for installer.

## 5-2 NS 8-5 EQ

### NOT

ALUM. CHANNEL LETTER W/ 3/4" 'BLACK' TRIM CAP AND RETURNS PRE-FINISHED 'BLACK'

- 1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
- 2.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

### NOTES:

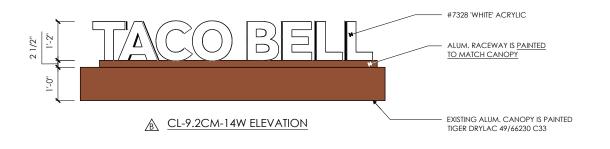
- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
- 3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS: INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

MOUNTING APPLICATION		
INTERIOR	EXTERIOR	
	X	

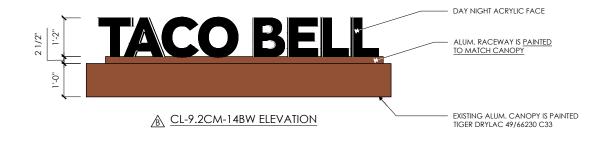


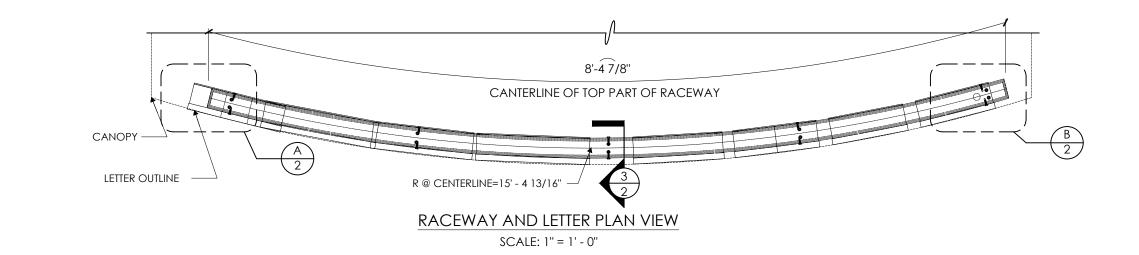
9'-3 11/16"

8'-6 5/16'LETTERS



R=15' - 4 13/16" ·







3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL

Print Name

Title

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Date

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Page 51 of 129

### C TAC-PCL-10

Purple LED Wall Downlight

### **DETAILS**

Dimensions: Height: 2'-3/8" Width: 40'-0"

**SqFt:** 81.25

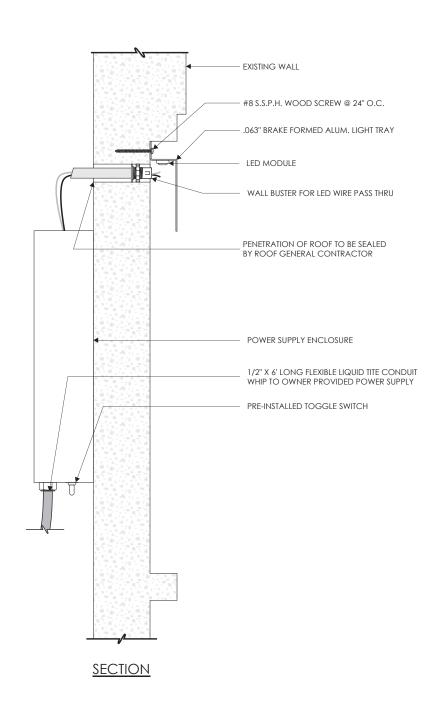
Quantity: 6

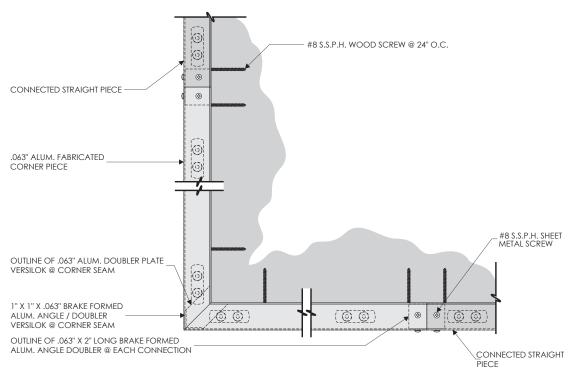
**Illumination:** Down Light

**Electrical Requirements:** 

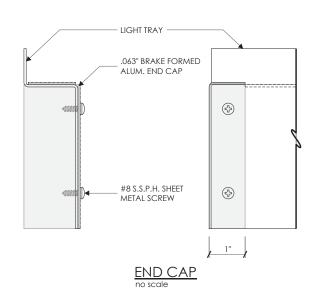
**Specifications:** 

**Notes:** 





### CORNER PIECE STRUCTURAL PLAN VIEW / CONNECTION DETAIL





LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL

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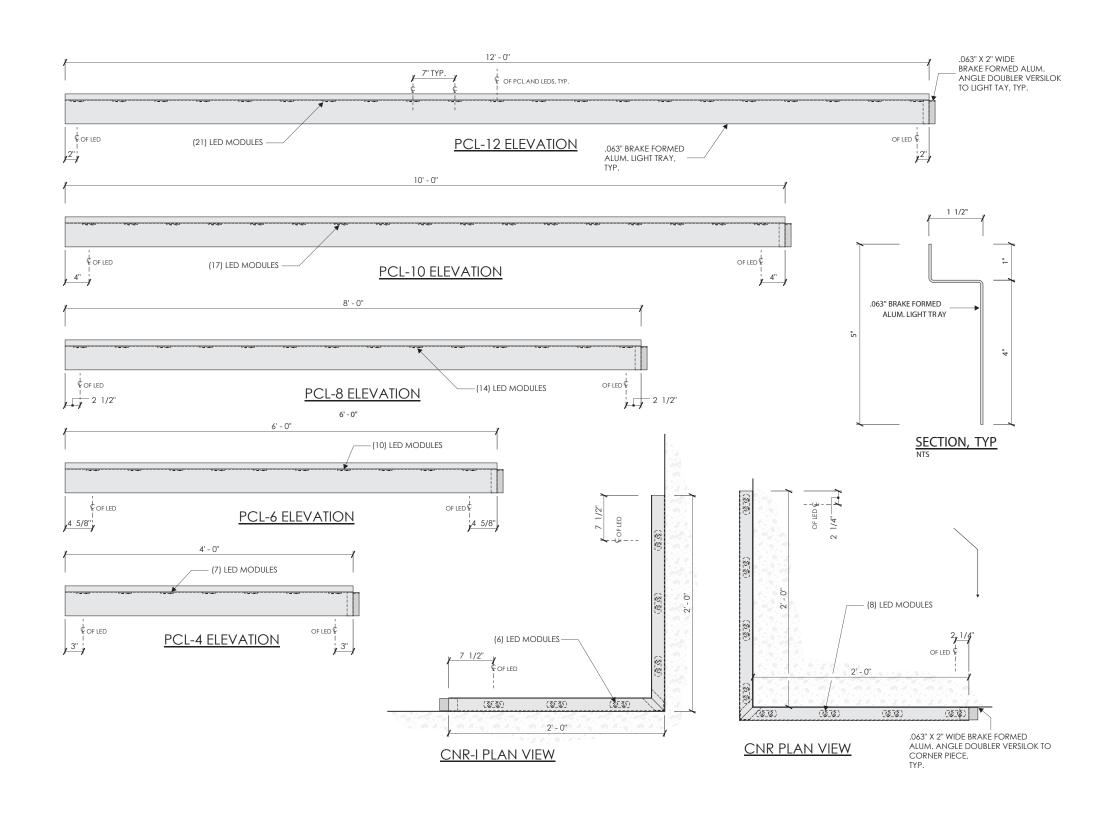


X	TAC-PCL-10	
I	Purple LED Wall Downlight	
DETAILS		
Dimensions: Height: 2'-3/8" Width: TBD SqFt: 81.25		
Quantity: 6		
Illumination:		

Electrical Requirements:

**Specifications:** 

**Notes:** 





LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

PROJECT MANAGER
Zachary Angelillo

CUSTOMER APPROVAL

Print Name
Title
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Page 53 of 129

### TAC-CLB1

Endeavor Clearance Bar - Non-illuminated, BLACK

### **DETAILS**

**Dimensions:** 

**Height:** 10'-0" **Width**: 9'-4"

SqFt:

Quantity: 1

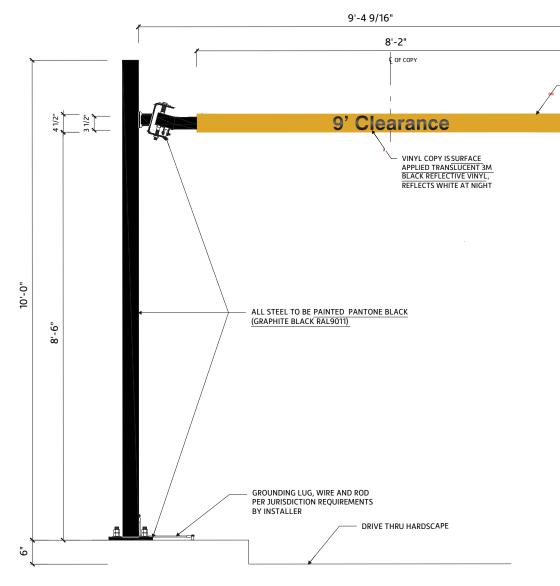
Illumination: None

**Electrical Requirements:** None

### **Specifications:**

Anchor bolts sold separately. Foundation not included.

**Notes:** 



### FRONT ELEVATION (COPY W/ POLE ON LEFT)

1/2" = 1' - 0"

### NOTE

1.) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
2.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

COPY ORIENTATION			
X	X POLE ON LEFT		
	POLE ON RIGHT		



### **EXISTING**



LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

PROJECT MANAGER
Zachary Angelillo

CUSTOMER APPROVAL

Print Name

Title

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Signature

Date

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- PVC BAR AND END CAP ARE PAINTED MP 3236 'SAFETY YELLOW'



Page 54 of 129

### F

TAC-CLB1

Replacement Clearance Bar Sleeve, Painted Vinyl PVC

### **DETAILS**

Dimensions: Height: 10'-0" Width: 9'-4"

SqFt:

Quantity: 1

Illumination: None

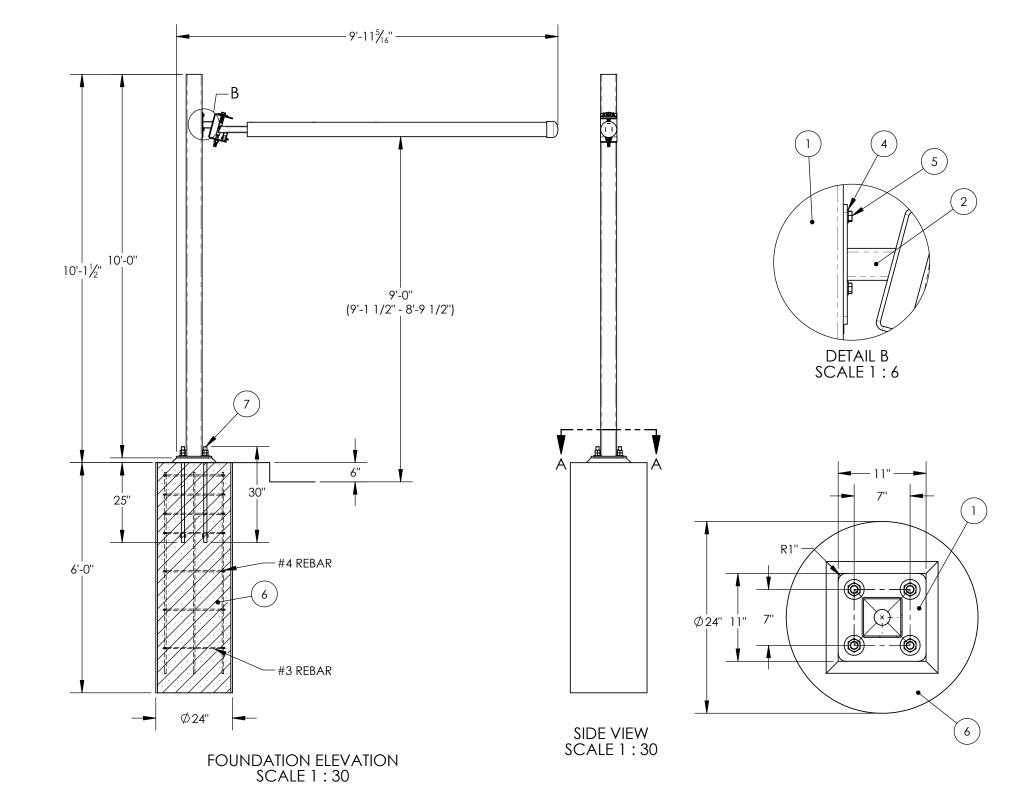
**Electrical Requirements:** 

### **Specifications:**

Anchor bolts sold separately. Foundation not included.

Notes:

### **FOUNDATION DETAILS**





LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

PROJECT MANAGER
Zachary Angelillo

CUSTOMER APPROVAL		Approved
Print Name	Title	Approved as Noted
Signature	Date	Not Approved Resubmit with Changes



### **TAC-OPC-EN**

Endeavor Order Point Canopy V-1070

**DETAILS** 

**Dimensions:** 

**Height:** 10'-1 1/4" **Width**: 6'-8 1/4"

SqFt:

Quantity: 1

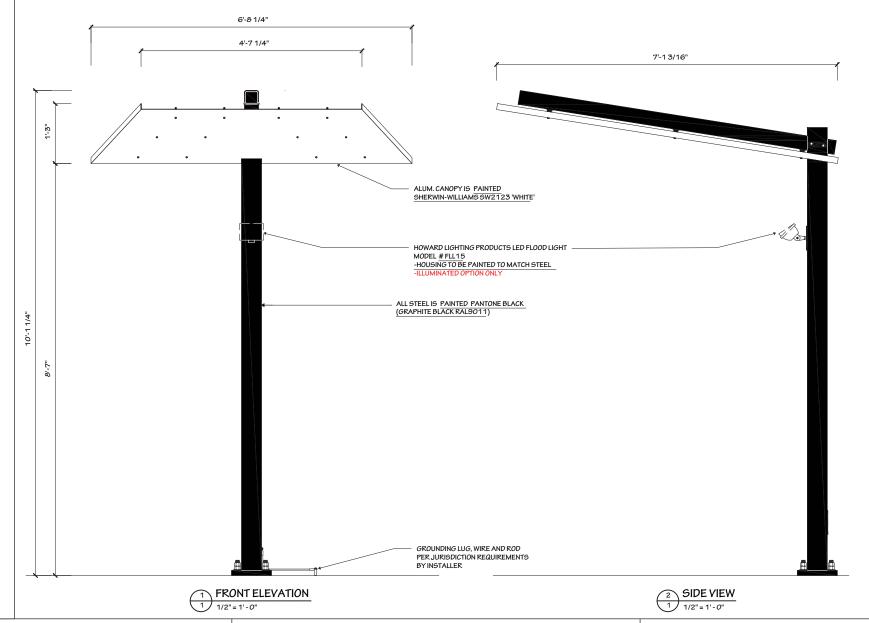
Illumination: Flood

**Electrical Requirements:** 

### **Specifications:**

Anchor bolts sold separately. Foundation not included.

**Notes:** 





**EXISTING** 



LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025 **PROJECT MANAGER** Zachary Angelillo

**CUSTOMER APPROVAL** Approved **Approved as Noted Print Name** Not Approved Signature Date **Resubmit with Changes** 



### R TAC-OPC-EN

Endeavor Order Point Canopy V-1070

### **DETAILS**

**Dimensions:** 

**Height:** 10'-1 1/4" **Width**: 6'-8 1/4"

SqFt:

Quantity: 1

**Illumination:** Flood

**Electrical Requirements:** 

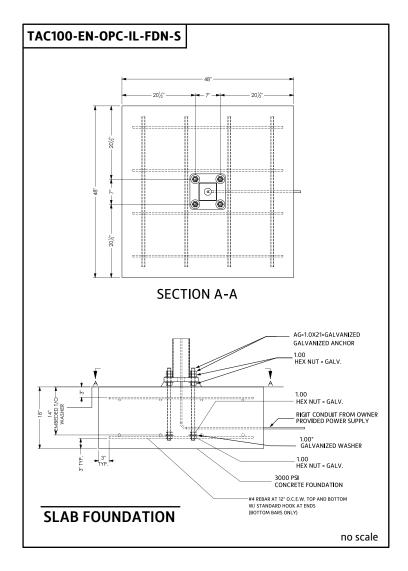
### **Specifications:**

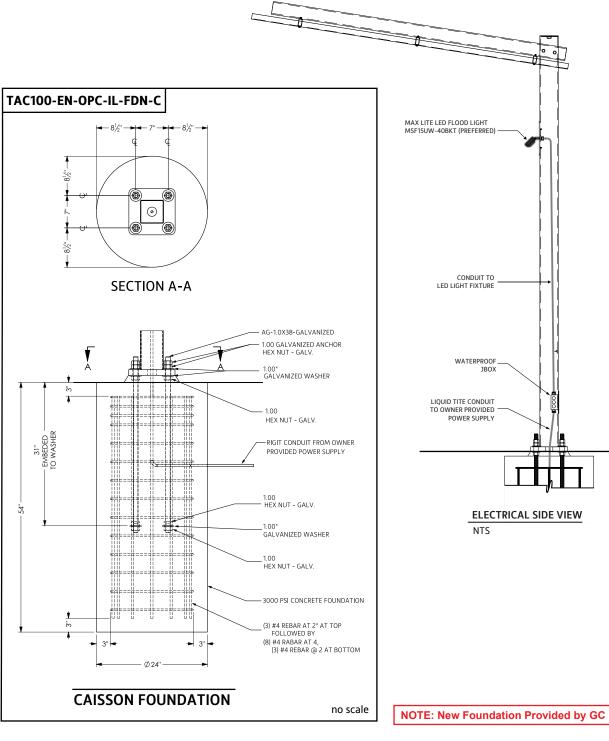
Anchor bolts sold separately. Foundation not included.

**Notes:** 

Foundation by GC

### **FOUNDATION DETAILS**







LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

PROJECT MANAGER
Zachary Angelillo

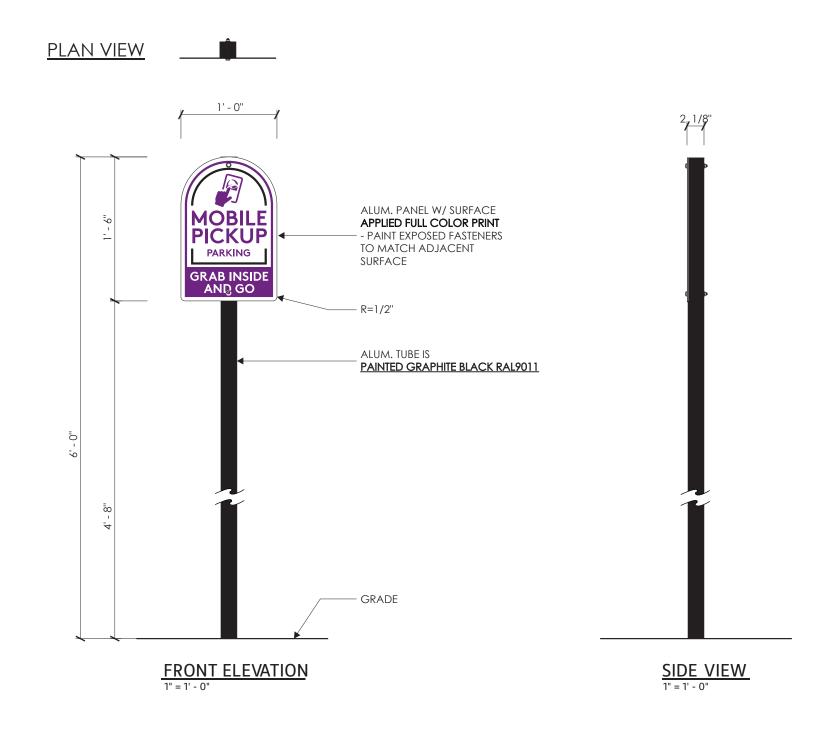
CUSTOMER APPROVAL

Print Name
Title
Approved as Noted

Not Approved
Signature
Date
Resubmit with Changes



# TAC-DV-MP-OP Mobile Pickup Parking Space Sign 18"h x 12"w, 6'OAH DETAILS Dimensions: Height: 1'-6" Width: 1'-0" SqFt: 1.34 Quantity: 2 Illumination: None Electrical Requirements:





**Notes:** 

LOCATION 3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL		Approved
Print Name	Title	Approved as Noted
Signature	Date	Not Approved Resubmit with Chanc



### G

### TAC-P93-FTB-PF-RETRO

Replacement Pan Formed Faces For Retro P93, 12'-3" x 8'-0 3/4", Qty 1 Each Face, Order Qty 2 For Full Sign, Includes Tooling

### **DETAILS**

### **Dimensions:**

Height: 12'-3" Width: 8'-3/4" SqFt: 93

Quantity: 2

**Illumination:** Internal

### **Electrical Requirements:**

Voltage: 120/277V

Power Supply: UL-listed disconnect switch included Conduit from owner-provided power supply

Wiring: Electrical conduit routed through foundation Sealed connections required for water protection

Installation: 2500 PSI concrete foundation required 3/4" galvanized threaded rod with 24" embedment minimum.

Anchors must be installed per manufacturer's specifications

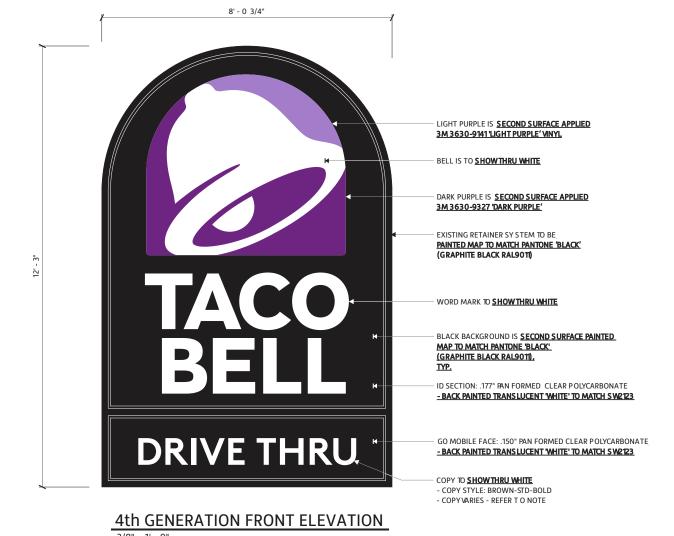
### **Specifications:**

### NOTE

1.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.

2.) PM TO SPECIFY SECONDARY MESSAGE OPTION PRIOR TO FABRICATION.

- 3.) PM TO VERIFY V.O. DIMENSIONS PRIOR TO FABRICATION.
- 4.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.
- 5.) SHOP TO PROVIDE PAINT TO INSTALLER.
- 6.) INSTALLER TO PAINT CABINETS, RETAINERS AND COLUMNS PRIOR TO FACE INSTALLATION.





**EXISTING** 



SECONARY MESSAGE OPTION

'BREAKFAST'
'DELIVERY'

'DRIVE THRU'
'GO MOBILE'

'LATE NIGHT'

RECOMMENED

### TYPICAL REFURBISH INCLUDES:

- -New Faces/Msg. panel
- -LED Lighting Upgrade
- -Housings, Retainers and Support Steel Painted Satin Black. (if applicable)



LOCATION

3062 Kiley Way Plymouth, WI 53073

**DESIGNER** CM **DATE:** 03/20/2025

**PROJECT MANAGER**Zachary Angelillo

CUSTOMER APPROVAL

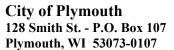
Print Name
Title
Approved as Noted

Not Approved
Signature
Date
Resubmit with Changes

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Page 59 of 129





Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

**DATE:** March 11, 2025

**TO:** Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

**RE:** Site Plan Seeking Approval; 127 North Street, South Pier, LLC, for the

construction of a 660 square foot detached garage. Watson (enclosure)

ZONING CONSISTENCY MATRIX				
	Required	Provided		
Zoning	B-2	B-2 (no change)		
Maximum Lot Coverage of All Buildings	None	n/a		
Minimum Lot Width at Building Line	None	n/a		
Minimum Front Yard Setback	None	n/a		
Minimum Side Yard Setback				
Principal Building	None	n/a		
Accessory Building				
Minimum Rear Yard Setback	None	n/a		
Maximum Height Any Structures	Principal: 45'	~15'		
	Accessory: 25'			

### **Background:**

Dr. Toby Watson has submitted an application to construct a 22' by 30' detached garage on the southern end of the property located at 127 North Street. The project also calls for the installation and replacement of some sidewalk on the property to connect the home to the garage. The property is used as a single-family home. The Plan Commission does not typically review additions or new constructions for residential properties, but as the property's base zoning is B-2 general business (housing is a permitted use), a site plan review is required by City code.

### City Zoning/Comprehensive Plan:

The property is within the B-2 Business General zoning district. The above zoning matrix indicates the property is conforming in terms of setbacks, both for the existing building and the proposed garage. The Plan Commission should note the B-2 district does not have any setback restrictions for principal or accessory buildings as required by City Code. As such, the proposed garage appears to be proposed very close to the lot line of the adjacent property line (The Plymouth Inn).

The City's Comprehensive Plan, most recently updated in 2022, indicates the property has a future land use designation as commercial. As B-2 zoning allows both commercial, single family, two-family, and multi-family housing as a principal use, city staff advises the plan to utilize this property for housing is in harmony with the comprehensive plan.

### **Shoreland Zoning/Wetlands/Floodplain:**

The property is not within City shoreland zoning nor an identified or suspected wetland. FEMA flood plain mapping also indicates the property is outside an identified floodplain.

### Public Works/Plymouth Fire Department Review:

Both Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns.

### <u>Plan Commission Consideration(s):</u>

Sec. 15-1-3(g) of the City Code indicates that the Plan Commission must review and approve any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts\* before the issuance of a building permit from the building inspector:

\*As this property has business zoning, a site plan review is still required.

• Site plan approval. All applications for building permits for any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts shall require site plan approval by the plan commission.

When considering acting on a site plan application, the Plan Commission should consider the following:

- a. The appropriateness of the site plan and buildings in relation to the physical character of the site and the usage of adjoining land areas.
- b. The layout of the site with regard to entrances and exits to public streets; the arrangement and improvement of interior roadways; the location, adequacy and improvement of areas for parking and for loading and unloading; and shall, in this connection, satisfy itself that the traffic pattern generated by the proposed construction or use shall be developed in a manner consistent with the safety of residents and the community, and the applicant shall so design the construction or use as to minimize any traffic hazard created thereby.
- c. The adequacy of the proposed water supply, drainage facilities and sanitation and waste disposal.
- d. The landscape and appearance of the completed site. The plan commission may require that those portions of all front, rear and side yards not used for off-street parking shall be attractively planted with trees, shrubs, plants or grass lawns, and that the site be effectively screened so as not to impair the value of adjacent properties nor impair the intent of purposes of this section.

### **Staff Recommendation:**

Staff recommends the Plan Commission approve the detached garage for the 127 North Street property.

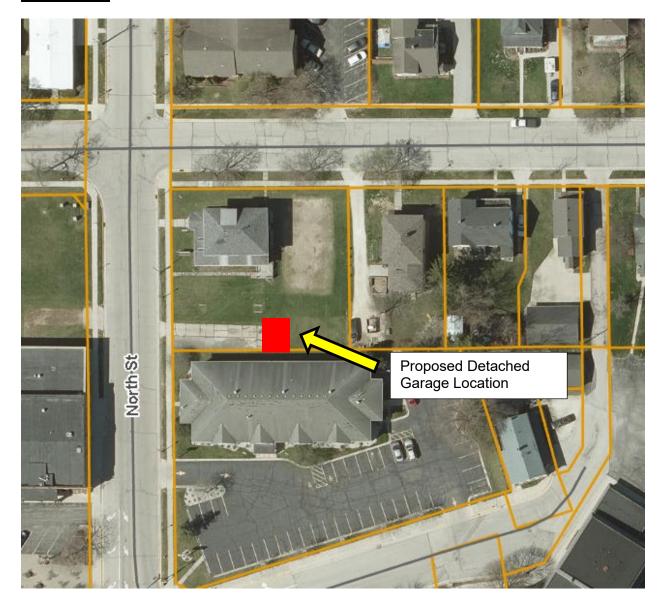
### **Copies Mailed/Emailed To:**

I. Dr. Toby Watson: tobytylerwatson@gmail.com

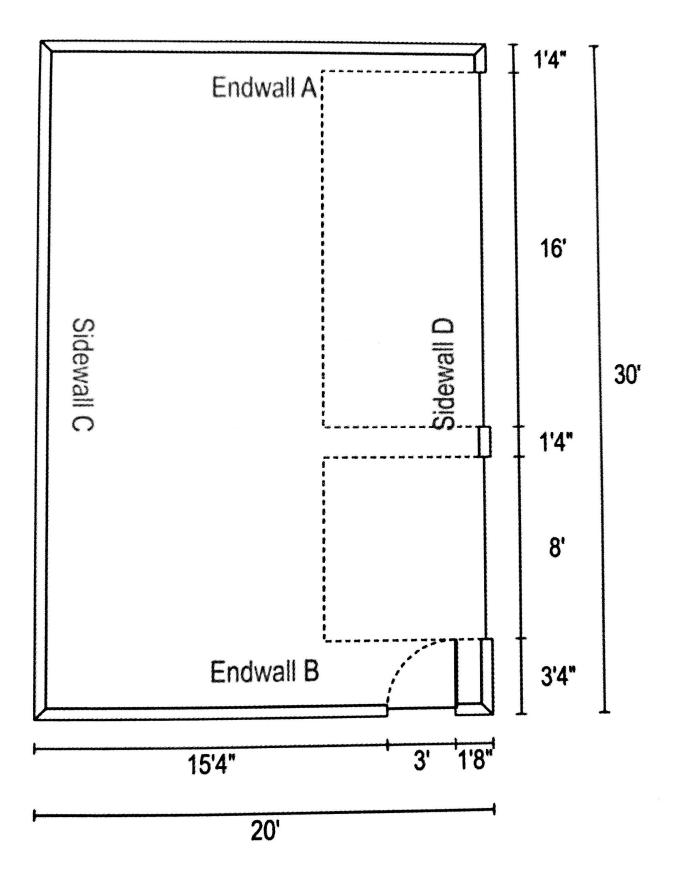
### **Attachments:**

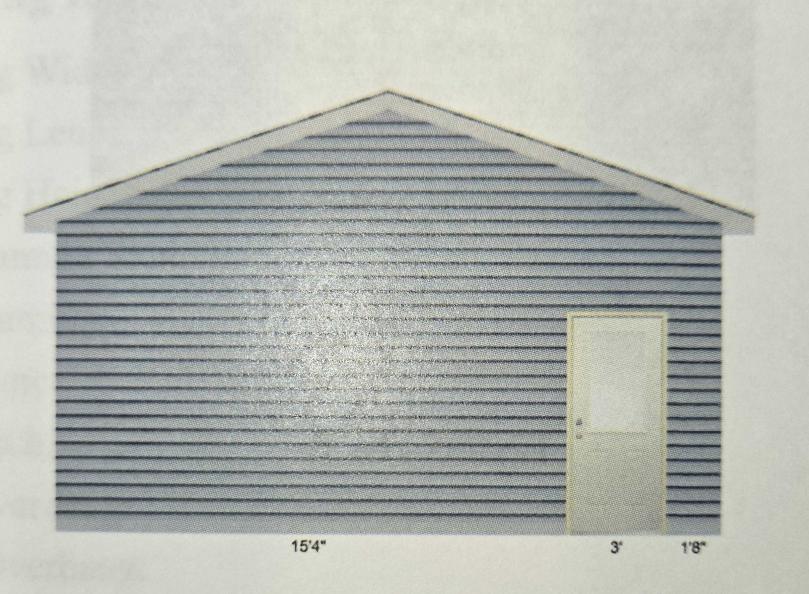
- I. GIS Map
- II. Building Plan Materials

### Attachment I



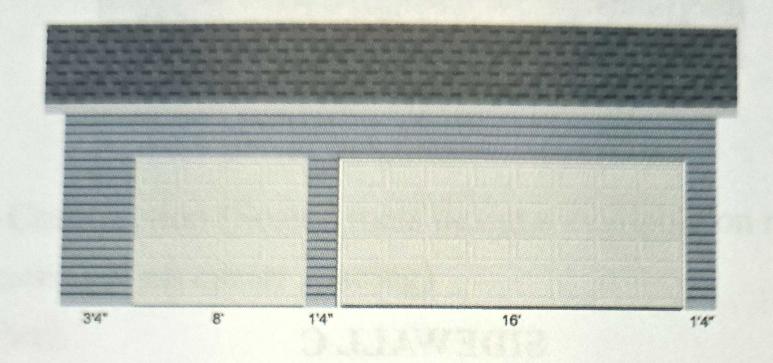






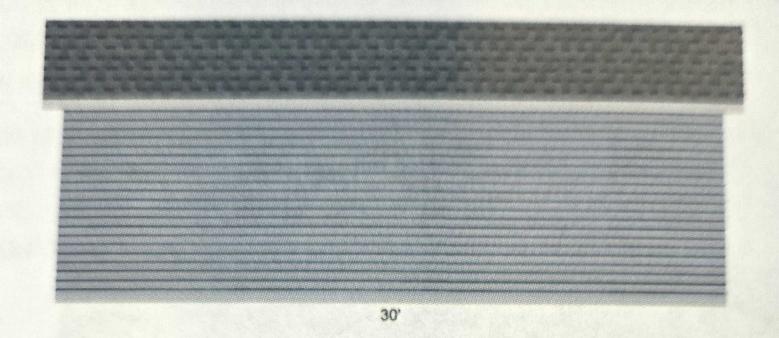
### **ENDWALL B**

Mastercraft® 36W x 80H Primed Steel Half Lite

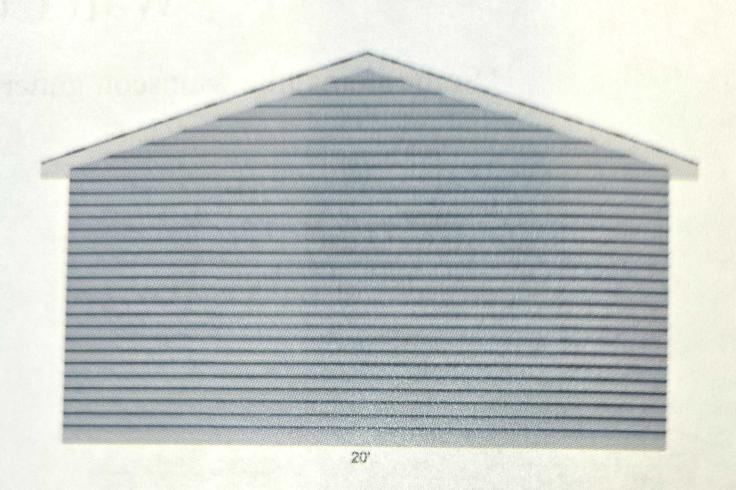


### SIDEWALL D

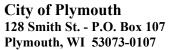
8X7 White Raised Panel Extension Spring 16X7 White Raised Panel Extension Spring



### SIDEWALLC



### **ENDWALLA**





Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

**DATE:** March 17, 2025

**TO:** Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

RE: Site Plan Seeking Approval; 900 County Road PP (Plymouth Utilities), City of

Plymouth, for the construction of a 12,000 square foot detached garage.

Plymouth Utilities/Blakeslee (enclosure)

ZONING CONSISTENCY MATRIX		
	Required	Provided
Zoning	HI	HI (no change)
Maximum Lot Coverage of All Buildings	50%	~7.5%
Minimum Lot Width at Building Line	200'	>600' at northern building line
Minimum Front Yard Setback	40'	>300'
Minimum Side Yard Setback Principal Building Accessory Building	30' 10'	~100' from northern property line for new building
Minimum Rear Yard Setback	40'	n/a (two front yards)
Maximum Height Any Structures	45' any structure; up to 80' with CUP	20'

### Background:

Plymouth Utilities, owned by the City of Plymouth, has submitted a site plan review application for the construction of a new 12,000 square foot detached garage for the storage of electric utility materials and vehicles. The project also requires Wisconsin Public Service Commission (PSC) approval prior to construction of the garage. It is anticipated that PSC will consider approval of this project later this spring.

### **City Zoning/Comprehensive Plan:**

The property has HI – Heavy Industrial Zoning. The use of the property is conforming with City zoning code. The City's Comprehensive Plan indicates this property should remain institutional/governmental on the Future Land Use Map. As such, so comprehensive plan or rezoning amendment is required for this project to move forward.

### **Shoreland Zoning/Wetlands/Floodplain/Stormwater:**

The property has no identified wetlands or flood plain. A portion of the northwestern corner of the property is within the 0.2% annual change flood hazard as identified by FEMA. The proposed garage is outside of this area, however. Kapur Engineering evaluated storm water flows with the proposed storage shed to the existing pond. The pond does have adequate capacity for the new development. The storm water report is available at City Hall should the Plan Commission wish to review it.

### Public Works/Plymouth Fire Department Review:

Both Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns.

### <u>Plan Commission Consideration(s):</u>

Sec. 15-1-3(g) of the City Code indicates that the Plan Commission must review and approve any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts before the issuance of a building permit from the building inspector:

• Site plan approval. All applications for building permits for any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts shall require site plan approval by the plan commission.

When considering acting on a site plan application, the Plan Commission should consider the following:

- a. The appropriateness of the site plan and buildings in relation to the physical character of the site and the usage of adjoining land areas.
- b. The layout of the site with regard to entrances and exits to public streets; the arrangement and improvement of interior roadways; the location, adequacy and improvement of areas for parking and for loading and unloading; and shall, in this connection, satisfy itself that the traffic pattern generated by the proposed construction or use shall be developed in a manner consistent with the safety of residents and the community, and the applicant shall so design the construction or use as to minimize any traffic hazard created thereby.
- c. The adequacy of the proposed water supply, drainage facilities and sanitation and waste disposal.
- d. The landscape and appearance of the completed site. The plan commission may require that those portions of all front, rear and side yards not used for off-street parking shall be attractively planted with trees, shrubs, plants or grass lawns, and that the site be effectively screened so as not to impair the value of adjacent properties nor impair the intent of purposes of this section.

Furthermore, Sec. 13-1-35(a)(20) of the City Code specifically dictates that accessory uses and structures must be approved by the Plan Commission in the H-I district.

### **Staff Recommendation:**

Staff recommends the Plan Commission approve the detached garage for Plymouth Utilities at 900 County Road PP.

### **Copies Mailed/Emailed To:**

I. Tim Blakeslee: tblakeslee@plymouthwi.gov

### **Attachments:**

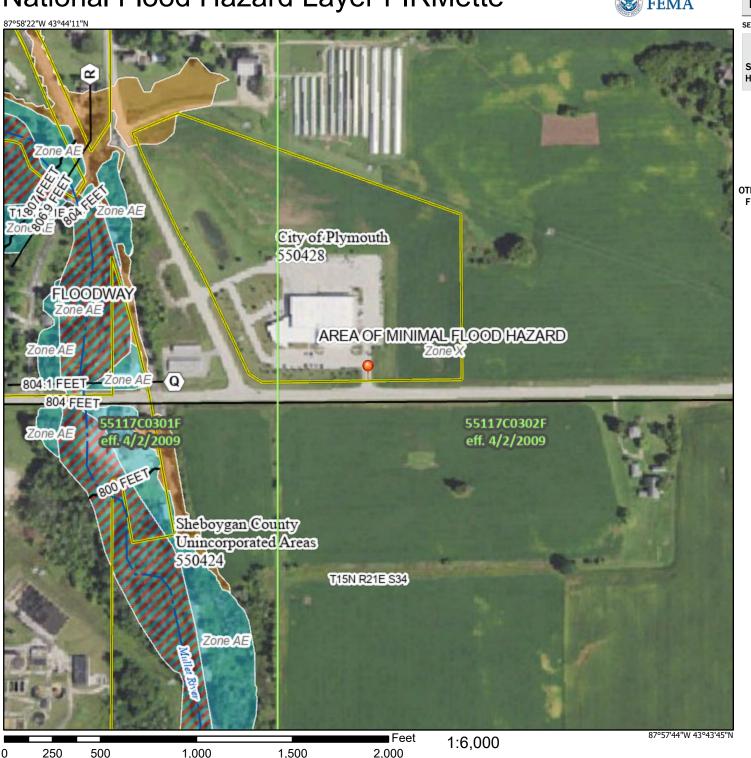
- I. GIS Map
- II. FEMA Map
- III. Site Plan and Building Plan Materials

### Attachment I



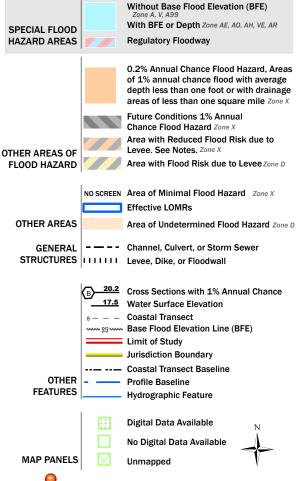
### National Flood Hazard Layer FIRMette





### Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The pin displayed on the map is an approximate point selected by the user and does not represent

an authoritative property location.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/17/2025 at 3:19 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized and camber be used for regulatory purposes.

# Building Project Proposal For: Plymouth Utilities



By: Bill Hamm

Sales Operations Business Partner

(262) 689-5688

(262) 629-5521 ext. 159

Proposal Number: 524720240403

Project: -C:\Users\bhamm\OneDrive - Walters Buildings\Documents\CadmapWork\Jobs\Projects Pending\Plymouth Utilities Storage Expansion\Plymouth Utilities 75x160 Revised 4-2-2024.can

04/03/2024

Plymouth Utilities 900 County Road PP Plymouth, WI 53073

Dear Plymouth Utilities,

Thank you for the opportunity to present this custom proposal for your consideration. We take great pride in listening to your needs and transforming them into an attractive yet functional building. At Walters Buildings we focus on meeting your expectations through communication, honesty, dependability and a quality product at a fair price; which ultimately translates to a high value for your construction dollar.

### **Our Company**

Walters Buildings is a family owned business based out of Allenton, WI that has been building agricultural, commercial, industrial and suburban structures for over 50 years. We have manufacturing facilities in Allenton, WI and Fairfield, IL and have sales/construction centers in MN, WI, IL, OH and KY.

### **Our Product**

In post-frame construction, the columns are the heart of the building. We have spent years in design, research and testing to develop and patent our shear transfer plated (STP) columns. The southern yellow pine column, stronger than solid sawn posts, joins an untreated upper portion with a bottom portion treated to 0.8 pounds per cubic foot retention of chromated copper arsenate (CCA.) We warrant our columns for 50 years (including material and labor) if any preservative treated material should fail due to decay or insect attack.

We know that a building is only as strong as the foundation that is it built on. Our columns are solidly anchored to a structurally designed foundation which is capable of carrying all applicable forces applied to the structure such as snow and wind loads.

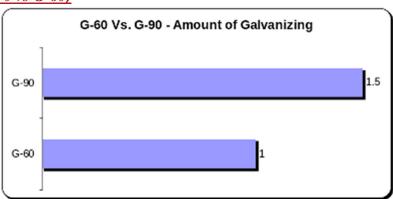
As participants of the Truss Plate Institute's (TPI) Quality Assurance Certification program, we are always required to be available for unscheduled inspections of our truss plants and lumber inventory. These inspections, too stringent for most companies, check that the correct grade of lumber is used, and the quality of the truss plates and proper joint placement is maintained. To further assure the quality of our roof trusses, our in-house staff of registered engineers also supervises our manufacturing facility and constantly looks for new and improved truss designs and manufacturing techniques.

Proposal number: 524720240403 Page 2 Project: -C:\Users\bhamm\OneDrive - Walters Buildings\Documents\CadmapWork\Jobs\Projects Pending\Plymouth Utilities Storage Expansion\Plymouth Utilities 75x160 Revised 4-2-2024.can Walters Buildings utilizes roll-forming and sheet leveling equipment that provides the means to roll-form a panel that is 28-gauge 92,000 psi (80,000 psi minimum) structural quality material that has a G-90 substrate with a quality paint finish. The panel features a 1" deep geometric designed - diaphragm enhancing rib that assures reliable structural integrity for you roof and sidewall panels. The quality of this panel is reflected in our warranty: 35-year film integrity, 25 year fade and chalk and 10 year non edge rust.

### Steel Thickness (28-gauge vs 29-gauge)

- \* Walters' steel panels have a minimum bare metal thickness of .016 inches. Our final panel thickness measures .0171 inches with all coatings applied.
- \* Competitors typically use a 29-gauge panel which has a minimum thickness of .0142 inches.
- \* This is a difference of 20.4% more steel strengthening and protecting your entire building.

### Galvanizing (G-90 vs G-60)



- \* Because G-90 has 1.5 times more galvanizing than G-60 it costs more.
- \* The benefit of more galvanizing is enhanced rust resistance that will drastically increase the lifespan of your building.
- \* Galvanizing has the ability to mend itself through nicks and cuts. Galvalume lacks this ability. Galvanizing is able to better protect the underlying steel from rust and other corrosion.

Proposal number: 524720240403 Page 3
Page 75 of 129

Project: -C:\Users\bhamm\OneDrive - Walters Buildings\Documents\CadmapWork\Jobs\Projects Pending\Plymouth Utilities Storage Expansion\Plymouth Utilities 75x160 Revised 4-2-2024.can

# 75' 0" x 160' 0" Gable style building

### **Design Information**

### **Building Dimensions**

- \* 75' 0" wide
- \* 160' 0" long
- \* 20' 0" high from grade to heel of truss

### **Truss**

\* Top Chord: 2x12 at 3:12 pitch\* Bottom Chord: 2x12 at 0:12 pitch

\* Heel Height: 14"

### **Doors and Windows**

- \* [12] 7' x 2' fixed Low-E windows
- \* [4] thermally broken walk door(s) with self flashing steel frame and steel door leaf with Kwikset leverset and deadbolt including lockguard and closer
- \* [2] 18' x 18' Series #700 Haas insulated rib panel overhead doors with operators and remotes

### **Selected Options**

- \* Kneebrace free interior wall design to optimize available headroom
- \* Dripstop condensation suppressant included on the roof panels
- \* 160 linear feet of Uni-vent ridge providing increased air flow to the attic
- \* Screw fastener type will be used on the entire building's exterior walls
- \* 3' high wainscot on the entire building
- \* 1' overhang installed around the entire building

### **Included Items**

- \* Sealed Plans
- \* Portable Restroom
- \* Dumpster
- \* Job Site Supervision

### Standard on all Walters Buildings

- \* 28-gauge steel panels with G-90 galvanizing
- \* Columns treated to 0.8 pounds per cubic foot of CCA
- \* Solid ball footing

Proposal number: 524720240403 Page 4
Page 76 of 129

Project: -C:\Users\bhamm\OneDrive - Walters Buildings\Documents\CadmapWork\Jobs\Projects Pending\Plymouth Utilities Storage Expansion\Plymouth Utilities 75x160 Revised 4-2-2024.can

- Gutters and downspouts
- Written warranty
- 2x6 1650 MSR lumber for nailers
- \* 2x4 1650 MSR lumber for purlins at 24" o.c. spacing

### **Subcontracts**

Electrical \$51,606.00

- Shop
  - > [1] 400 amp 120/208 volt 3 phase service with 2-200 amp 42 space 120/208 volt 3 phase panels
  - > [4] 50 amp power outlets for welders/ Air compressors
  - > [28]20 amp outlets 4 outlets per circuit
  - > [2] Garage door openers with dedicated 20 amp circuit and low voltage chase
  - > [18] LED highbay light fixtures 111watt 15,000 lumen
  - ➤ \*\*Dimming optional additional \$97.75/fixture\*\*
  - > [3] LED highbay light fixtures 111watt 15,000 lumen and battery backup \*\*Dimming optional additional \$97.75/fixture\*\*
  - > [8] Outside Wall Packs 70 watt 9000 Lumen with 7 day astro timer next to Main electrical panel for control
  - > [2] Astro Timers
  - > [4] Switches
  - > [6] Industrial ceiling fans with forward/reverse option and fan speed
  - > [4] Exit fixtures with outside egress lights
  - > [1] Electrical permit\*\* Estimate only
  - > [2] Lift Rental

Bollards	\$633.00
Concrete Approaches	\$7,607.00
Concrete	\$158,700,00

- 75' x 160' x 6" slab with #4 rebars @ 24" on center each way
- Saw-cut & Sealed (ONCE) with CS-309 or equal.
- All excavation is not included.
- All excavation must be plus or minus 1"
- Any changes made due to soil or excavation will be billed as extra to
- All stone, fill, backfilling is not included.
- Excavator MUST Leave enough material on jobsite for fine grading.

Proposal number: 524720240403 Page 5 Project: -C:\Users\bhamm\OneDrive - Walters Buildings\Documents\CadmapWork\Jobs\Projects Pending\Plymouth Utilities Storage Expansion\Plymouth Utilities 75x160 Revised 4-2-2024.can

## **TOTAL BUILDING PACKAGE PRICE: \$563,640.00**

### Terms

The contract price has been calculated based on the current prices for the component building materials. If the cost of the component building materials at the time of the purchase by Walters Buildings would cause the total contact price to increase by more than 5%, the contract price shall be adjusted by a change order signed by the Buyer and Walters buildings. Similarly, if the cost of an individual subcontract increases by more than 5%, the contract price will be adjusted by a change order. If the buyer does not sign a change order, then Walters Buildings shall have the option to terminate the contract and the buyer shall have no claim against Walters Buildings.

Price includes delivery and erection on your prepared site. The quoted price stated on this proposal is valid for 15 days. The quoted price reflects cash terms defined as 25% paid when the contract is signed, 50% paid upon delivery of building materials and the remaining 25% paid upon completion of the project.

Proposal accepted this day in April 2024		
Customer Signature		
Walters Rep Signature		

Proposal number: 524720240403 Page 6

# **GENERAL NOTES AND SPECIFICATIONS GENERAL NOTES** DEVIATION FROM PLANS - Any deviation from these plans shall have been consulted with and documented by the supervising professional NON-CONTRACT ITEMS - Items may appear on these plans that are done by others and are not part of the Walters Buildings' contract. **SPECIFICATIONS** building. Maintain the grade levels shown on the plan around the building.

SITE WORK - The building site shall be graded to provide drainage away from the

FOUNDATION PLACEMENT NOTES - All footings or Sakrete shall be placed on undisturbed virgin soil remaining consistent with the soil bearing capacity as noted in the 'LOADS' Table on this page. If any loose soil is found at footing locations notify engineer at once so adjustments to footings can be made accordingly, as may be

Column holes are dug per the dimensions shown on the wall sections and ready-mix concrete pads or dry concrete pads are poured in place (Note plans for size and type). Additional concrete-mix is poured around the base of the column.

thoroughly compacted. Backfill material shall remain consistent with the presumed lateral soil pressure noted in the 'LOADS' table as well. Typical soil types meeting the requirements include firm sand and loose sandy gravel. Backfill of excavated holes in soil around wood columns may be made with concrete at contractors option.

Foundations shall not be placed prior to confirmation of the soil type at a depth of 5 feet

CONCRETE (if applicable) - Concrete placement shall be in accordance with ACI

Design mixes shall be obtained from the following:

3. Slump not to exceed 4 inches.

- 1. Strength to be a minimum of 3000 PSI at 28 days for walls and footings. 2.Strength to be a minimum of 3500 PSI at 28 days for floor slabs.
- REINFORCING STEEL (if applicable) Reinforcing steel shall be placed in accordance

with CRSI Standards. Steel reinforcing shall meet the requirements of the "Standard Specifications" for:

1. Billet-Steel Concrete Reinforcing Bars Grade 60 (ASTM designation A-615). 2.All steel bars shall meet the requirements of ASTM designation A-615. All welded wire mesh for concrete reinforcement shall meet the requirement shall meet the requirements set forth in Standard Specification (ASTM designation A-185). The reinforcement shall not be painted and must be free from grease, dirt or deep rust when placed in the work. To prevent rust, the material must be protected from moisture. The reinforcement shall be protected by the proper thickness of concrete.

Where not otherwise shown, the thickness of concrete over the reinforcement shall be: 1. Where concrete is deposited against the ground without the use of forms, the nickness of concrete shall not be less than 3 inches.

- 2. Where concrete is exposed to weather, the thickness of concrete shall not be ess than 1 1/2 inches.
- 3.In columns or pedestals not exposed to weather or ground, the thickness of concrete shall not be less than 1 1/2 inches.

ANCHOR BOLTS (if applicable) - The contractor shall set all anchor bolts to receive the building. The bolts shall be the size as shown or required and shall be set with the use of a template. They may be drilled into place as allowed. Many states require a ½" bolt with a minimum of 7" embedment

structural columns used in this Walters Building shall consist of a 3 or more members sized as shown on the plans, laminated, and designed to meet the structural load requirements. Column lumber is kiln-dried to a 19% moisture content

The members for use in contact with the soil shall be pressure treated to a retention of 0.8 pounds of Copper Chromate Arsenate Type C, oxide type formulation, as listed in American Wood Preservers Assoc. Standard U1. The treatment process shall be as described in the current AWPA Standard U1 Commodity Specification A, Use Category

SPLASHBOARDS - Splashboards are S4S #2 or better Southern Pine, pressure treated to a net retention of 0.4 pounds per cubic foot with Smart SenseTM copper based treatment. Approved for G-90 galvanized protected connectors and for aluminum contact. Building code compliant - NER #628. One row is furnished for building on a level grade. Smart SenseTM is a trademark of S-T-N Holdings, Inc.

FRAMING - Side girts are 2" x 6" S4S 1650 MSR or better Spruce Pine Fir spaced approximately 32" o.c. with all joints staggered at attachment to columns. Roof purlins are 2" x 4" S4S 1650 MSR or better Spruce Pine Fir spaced on edge approximately 24" o.c. All other framing lumber is standard grade or better.

All wood design shall conform to ANSI/AF&PA NDS-2015.

ABV

Above

WALL BRACING - 2" x 6" bracing in all unobstructed corners. 2" x 4" lateral truss ties and 2" x 6" end bracing as shown on plans.

STRUCTURAL STEEL (if applicable) - Design shall conform to the latest AISC

SIDING PANELS - 28 gauge Structural Steel Grade 80 with G-90 Sheet, pretreatment urethane primer, and Modified silicon polyester topcoat. Conforms to ASTM A 653.

ROOFING PANELS - 28 gauge Structural Steel Grade 80 with G-90 Sheet, pretreatment, urethane primer, and Modified silicon polyester topcoat. Conforms to ASTM A 653.

TRIM - 28 gauge Die formed trim of Structural Steel Grade 80 with G-90 Sheet, pretreatment, urethane primer, and Modified silicon polyester topcoat on gables, ridges, corners, base, windows and doors

WALL FINISHES - Exterior cracks, joints, and holes in the buildings envelope are caulked, gasketed, weatherstripped, or otherwise sealed. Interior finish of walls & ceiling shall have a flame spread rating of less than 200. Interior finish Class III Rating lame spread rating less than 200 and smoke development rating of less than 450.

SOUND & INSULATION - Exposed insulation shall have a flame spread rating of 25 or Backfill around columns above footings shall be placed in 8" maximum depth layers and less and smoke development rating of 450 or less. Concealed shall have a flame spread rating of 75 or less and a smoke development rating of 450 or less. Vapor etarder shall be installed to the warm side of the insulation.

> EXIT SIGN - Sign shall have an illumination intensity of not less than 5 foot-candles. Exit signs shall be illuminated at all times. To ensure continued illumination for a duration of not less than 90 minutes in case of primary power loss. Per IBC 1003.2.10.1, exit signs are not required in rooms or areas which require only one exit. Provide an approved type illuminated sign bearing the word "EXIT" in 6" high letters above all doors shown as a circled letter "E" with four radiated dashes.

MEANS OF EGRESS ILLUMINATION - The intensity of floor lighting shall not be less than 1 foot-candle at the floor level.

WALK DOORS - Solid Blank Polyurethane Foam Core or With Double Pane Window.

WINDOWS - Double Pane Clear Thermal Break Metal Frame Windows.

OVERHEAD DOORS - Thermal Core.

ROOF TRUSSES - Factory assembled with 16 or 20 gauge galvanized steel Alpine truss plates as required and graded kiln dried lumber as specified. In-plant quality control inspection is conducted under the auspices of the Truss Plate Institute. Trusses are designed with current standards and specifications for the stated loading.

FRUSS BRACING - All wood members must be properly braced until the complete structural system has been completed. Erection bracing is supplied by the erection contractor. The contractor must refer to TPI publication BCSI-B10 POST FRAME SUMMARY SHEET, "POST FRAME TRUSS INSTALLATION & TEMPORARY RESTRAINT / BRACING" for erection, handling and bracing guidance

Refer to the truss detail for permanent lateral bracing requirements. All lateral bracing specified on the truss detail are intended to provide lateral restraint for individual truss members only. Additional permanent structural bracing specified on the drawings is supplied with the building package and must be installed as shown.

GUTTERS (if applicable) - 5" box type gutters, color to match trim, on both side of the

HEATING AND VENTILATING (if applicable) - All work shall be done in strict accordance with state and local codes. Others shall submit separate plans and calculations for approval.

STRUCTURAL LAMINATED COLUMNS - The No. 2 or better southern yellow pine S4S | ELECTRICAL (if applicable) - All work shall be done in strict accordance with state and local codes. Electrical work in not part of this plan.

# AWARDED BIDDER:

SHALL PROVIDE EQUIVALENT MATERIALS AND BE RESPONSIBLE FOR SUBMITTING COMMERCIAL BUILDING PLANS TO THE STATE & PROVIDING A REGISTERED SUPERVISING PROFESSIONAL

R.C.

Raised Chord

## GENERAL SPECIFICATIONS

The project consists of a post frame structure for KAPUR & ASSOCIÁTES. 7711 N. PORT WASHINGTON ROAD, MILWAUKEE WI. 53217 per WALTERS BUILDINGS Specifications. The building is a total of 12,000 sq. ft.

BUILDING LOCATION: PLYMOUTH UTILITIES 900 COUNTY ROAD PP PLYMOUTH, WI. 53073

Type of Construction - 5B, Unprotected Combustible Use Group Classification - S-1 - MODERATE HAZARD STORAGE NON-HEATED POST-FRAME STORAGE

SHEBOYGAN COUNTY WISCONSIN

2015 IBC

<u>S-1 MODERATE HAZARD STORAGE</u> - Risk Category II Tabular Allowable Area per IBC Table 506.2 = 9,000 sq. ft. Total Allowable Area Based on Open Perimeter & Sprinkler Requirements = 12,000 sq. ft. Allowable Height per IBC Tables 504.3 & 504.4 = 1 Story, 40 feet Not for Vehicles Classified as Commercial by the State Code

<u>OCCUPANT LOAD</u> — Risk Category II (AREA 1) = 12,000 sq. ft./500 = 24ACTUAL OCCUPANT LOAD = 24

<u>SNOW</u> — Risk Category II Pf = 0.7CeCtlpqPs = CsPfPg (Ground Snow Load) = 35 PSF

Ce (Snow Exposure Factor) = 1.0 Ct (Thermal Factor) = 1.2 I (Snow Load Importance Factor) = 1.0

Pf (Flat Roof Snow Load) = 29.4 PSF Cs = 1.0Ps = 29.4 PSF

Unbalanced Snow Load = 28 PSF SPS 362.1608 (1995 Building Code of Canada) Used Design Roof Snow Load = 30 PSF

WIND — Risk Category II Qz = 0.00256KzKztKd(V)2IP = Qz[(GCpf) - (GCpi)]

Kz (Velocity Pressure Exposure Coefficient) = 0.95 Kzt (Wind Speed Up) = 1.0 Kd (Wind Directionality) = 0.85

U (ULTIMATE WIND SPEED) = 115 MPHNominal Wind Speed Conversion Factor = 0.6 V (Nominal Wind Speed) = 89.1 MPH I (Wind Load Importance Factor) = 1.00

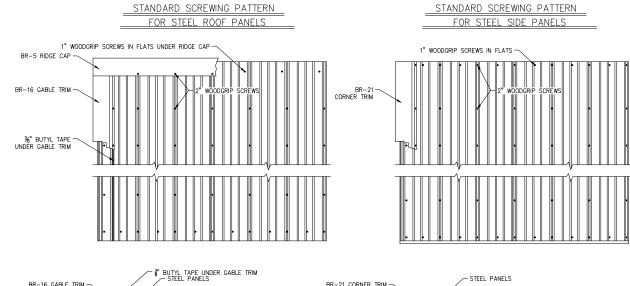
Qz (Velocity Pressure) = 16.5 PSF GCpf = Figure 6-3GCpi = +0.18 or -0.18USED P = 16.5 PSF

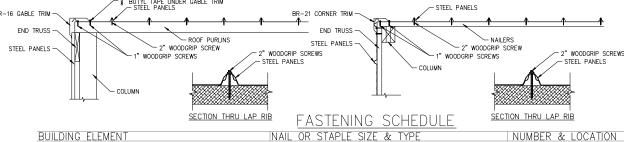
Exposure Category C = Represents open terrain with scattered obstructions having heights generally less than 30 feet. (Commonly associated with flat open country and grasslands).

<u>SEISMIC</u> — Risk Category II Ss (Mapped Spectral Response Acceleration 0.2 Sec) = 6.7% S1 (Mapped Spectral Response Acceleration 1.0 Sec) = 3.9% Sds (Spectral Response Coefficient) = 0.071 SD1 (Spectral Response Coefficient) = 0.062 Seismic Design Category = Category A Site Class D Seismic Base Shear = 2,206#Basic Structural and Seismic-Resisting System= Light Framed

R (Response Modification Factor) = 7Cs (Seismic Response Coefficient) = 0.010 Using Equivalent Lateral Force Procedure

Ground Snow Load: 35 PSF





8d common 10d common 10d commor

Floor joists to sill or girder	8d common	3 toe nail
Ledger strip	16d common	3 toe nall 3 ea. direct joist 2 ea. direct joist
1" subflooring(6" or less)	8d common	2 ea. direct joist
1" subflooring(8" or more)	8d common	3 ea. direct joist
2" subflooring	16d common	2 ea. direct joist
Particleboard underlayment(1/4"-3/4")	6d annular threaded	6"o.c. direct edges & 12"o.c. intermediate
Wood structural panel subflooring	ou aminara amoudou	To order direct dagged on 12 order interimodiate
(1/2" or less)	6d common or 6d annular/spiral thread	6"o.c. direct edges & 12"o.c. intermediate
(1/2" or less) (19/32" - 3/4") (7/8" - 1-1/8")		6"s a direct edges & 12"s a intermediate
19/32 - 3/4)	8d common or 6d annular/spiral thread	6"o.c. direct edges & 12"o.c. intermediate
(7/8 - 1-1/8)	10d common or 8d ring shank	6"o.c. direct edges
	8d annular or spiral thread	6"o.c. intermediate
(1/2" or less)	16ga galvanized wire staples	4"o.c. edges & 7" o.c. intermediate
(19/32", 5/8")	3/8" min. crown, 1-5/8" length	2-1/2"o.c. edges & 4"o.c. intermediate
Wall Construction	, , , , , , , , , , , , , , , , , , , ,	, , , ,
Stud to sole plate	8d common	4 toe nail
	16d common	2 direct nail
Stud to cap plate	16d common	2 toe nail or 2 direct nail
Double studs	10d common	12"o.c. direct
Corner studs	16d common	12"o.c. direct 24"o.c. direct
Sole plate to joist or blocking		16"o.c.
Sole plate to joist or blocking	16d common	10 0.0.
Interior-braced wall sole plate-parallel joist	16d common	12"o.c.
Double cap plate	10d common	16"o.c. direct nail
Cap plate laps	10d common	2 direct nail
Cap plate laps Ribbon strip, 6" or less Ribbon strip, 6" or more	10d common	2 ea. direct bearing
Ribbon strip, 6" or more	10d common	3 ea. direct bearing
Diagonal brace (to stud & plate)	8d common	2 ea. direct bearing
Interior—braced wall top plate—joist/blocking		12"o.c.
Tail beams to headers(nailing permitted)	20d common	1 ea. end 4 sq.ft. floor area
Header beams to trimmers(nailing permitted)		1 ea. end 8 sq.ft. floor area
Continuous header to stud	8d common	4 toe nail
_Continuous header, two pieces	16d common	16"o.c. direct
Roof & ceiling construction	40.1	
Ceiling joists to plate Ceiling joists (laps over partition)	16d common	3 toe nail
Ceiling joists (laps over partition)	10d common	3 direct nail
Ceiling joists (parallel to rafter)	10d common	3 direct nail
Collar heam	10d common	3 direct
Roof rafter to plate Roof rafter to ridge	8d common	1 4 too nail
Roof rafter to ridge	16d common	2 toe nail or direct nail 3 toe nail 2 direct nail 2 direct nail
Jack rafter to hip	10d common	3 toe nail
'	16d common	2 direct nail
1" roof decking (6" width or less)	8d common	2 ea. direct rafter
1" roof decking (over 6" width)	8d common	3 ea. direct rafter
1" roof decking (over 6" width) Wall & roof sheathing	od common	o ca. ancer rares
1" wall sheathing (8" width or less)	8d common	2 ea. direct stud
1" wall about him a (aver 0" width)		
1" wall sheathing (over 8" width)	8d common	3 ea. direct stud
1/2" fiberboard sheathing	1-1/2" GV roofing nail or 6d common	3"o.c. exterior edge, 6"o.c. intermediate
	16ga staple, 1-1/8" w/min crown of 7/16"	
25/32" fiberboard sheathing	1-3/4" GV roofing nail or 8d common or	3"o.c. exterior edge, 6"o.c. intermediate
•	16aa staple, 1-1/2″ w/min crown or 7/16″	
Gypsum sheathing	12ga 1-1/4" large head, corrosion resistant	4"o.c. on edge, 8"o.c. intermediate
Gypsum sheathing (seismic tracing)	11ga 1-3/4"long 7/16"head, diamond point GV	
Darticleheard wall sheathing (1/2" or less)		
Particleboard wall sheathing(1/2" or less) Particleboard wall sheathing(5/8" or less)	6d common	6"o.c. direct edges & 12"o.c. intermediate
Particleboard wall sheathing(5/8 or less)	8d common	6"o.c. direct edges & 12"o.c. intermediate
Wood structural panel roof & wall sheathing		
(1/2" or less)	6d common(walls); 8d common(roofs)	<u>6"o.c. direct edges &amp; 12"o.c. intermediate</u>
(19/32"-1") (1" or greater)	8d common	6"o.c. direct edges & 12"o.c. intermediate
(1" or greater)	10d common	6"o.c. direct edges & 12"o.c. intermediate
(1/2" or less)	16ga GV wire staples, 3/8"min. crown	4"o.c. edges & 8"o.c. intermediate
(1/2 01 1000)	length of 1"+panel thickness	1 0.0. dages a o o.o. intermediate
(19/32", 5/8")		2 1 /2" a a addaga la 5" a a interna di di
(13/22, 3/0)	same as immediately above	2-1/2"o.c. edges & 5"o.c. intermediate
Shingles	#14 B&S ga corrosion resistant	2 ea. bearing 2 ea. bearing
Weatherboarding	8a corrosion resistant	∠ ea. bearing
Note A: Single nails shall penetrate not less	than 3/4" into nailing strips, sheathing or supp	porting construction except as otherwise
provided for in Section 1507.0.	, 5 1 , 5 11	,
	d of 90 mph or greater where the main roof h	reight is less than 25 ft, and for regions

Note B: For regions having a basic wind speed of 90 mph or greater where the main roof height is less than 25 ft. and for regions having basic wind speed of 80 mph or less, nails which attach wood structural panel roof sheating to gable end wall framing shall be

naving basic wind speed of 80 mph or less, nails which attach wood structural panel roof sheating to gable end wall framing shall be spaced 6" o.c. Where basic wind speed is greater than 80 mph, nails which attach panel roof sheathing to intermediate supports shall be spaced 6" o.c. of a minimum of a 48" distance from ridges, eaves & gable end walls; & 4" o.c. to gable end wall framing. Note C: For regions having a basic wind speed of 90 mph greater, 8d deformed shank nails shall be utilized to attach wood structural panel roof sheathing to framing within a minimum 48" distance from gable end walls provided the mean roof height is between 25' and 35'. For roof heights greater than 35' in a 90 mph or greater wind region, attachment of wood structural panel roof sheathing shall be designed for the wind loads in Section 1609.0.

Note D: Nails shall be spaced 6" o.c. direct to panel edges and 6" o.c. to intermediate supports where panel spans are 48" o.c. or greater greater. Note E: 1" = 25.4mm, 1' = 304.8mm.

Walls W/Shear

Panels

# SHEET INDEX

ıilt—up girders & beams

A1	SPECIFICATIONS
A2,A2.1	ELEVATIONS
C1	COLUMN/FOOTING PLAN
A3	FRAMING PLAN
A4	SECTION
T1	(2)-PLY 74'-9" TRUSS DETAIL

TIMATED BY:

KAPUR &

ASSOCIATES

PLYMOUTH UTILITI

OCATION: 900 COUNTY ROAD

PLYMOUTY, WI.

ALES REP / DEALER: BILL HAMM

Walters

Buildings

ST SAVED BY: TEINMAN ON: 2/20/

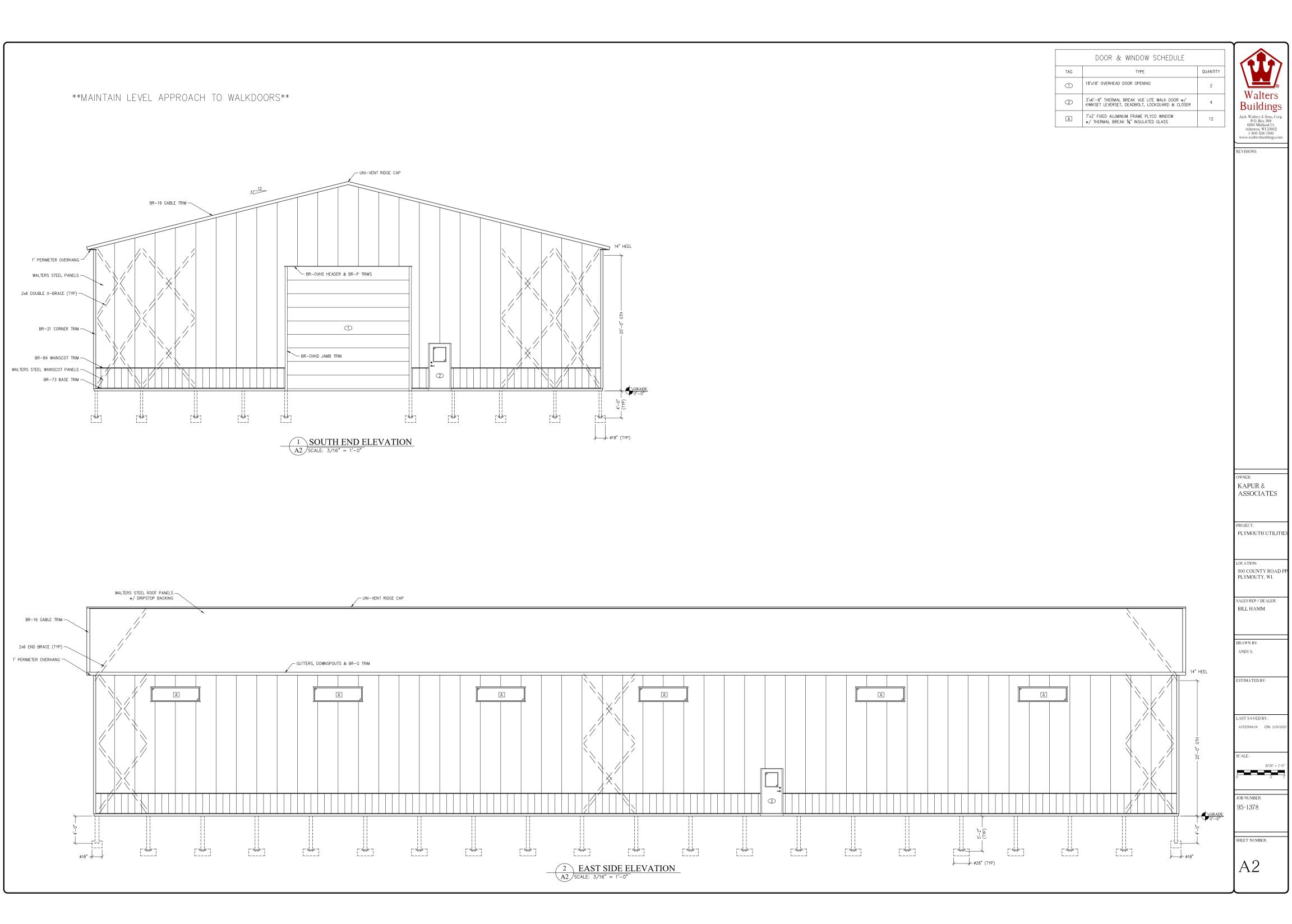
95-1378

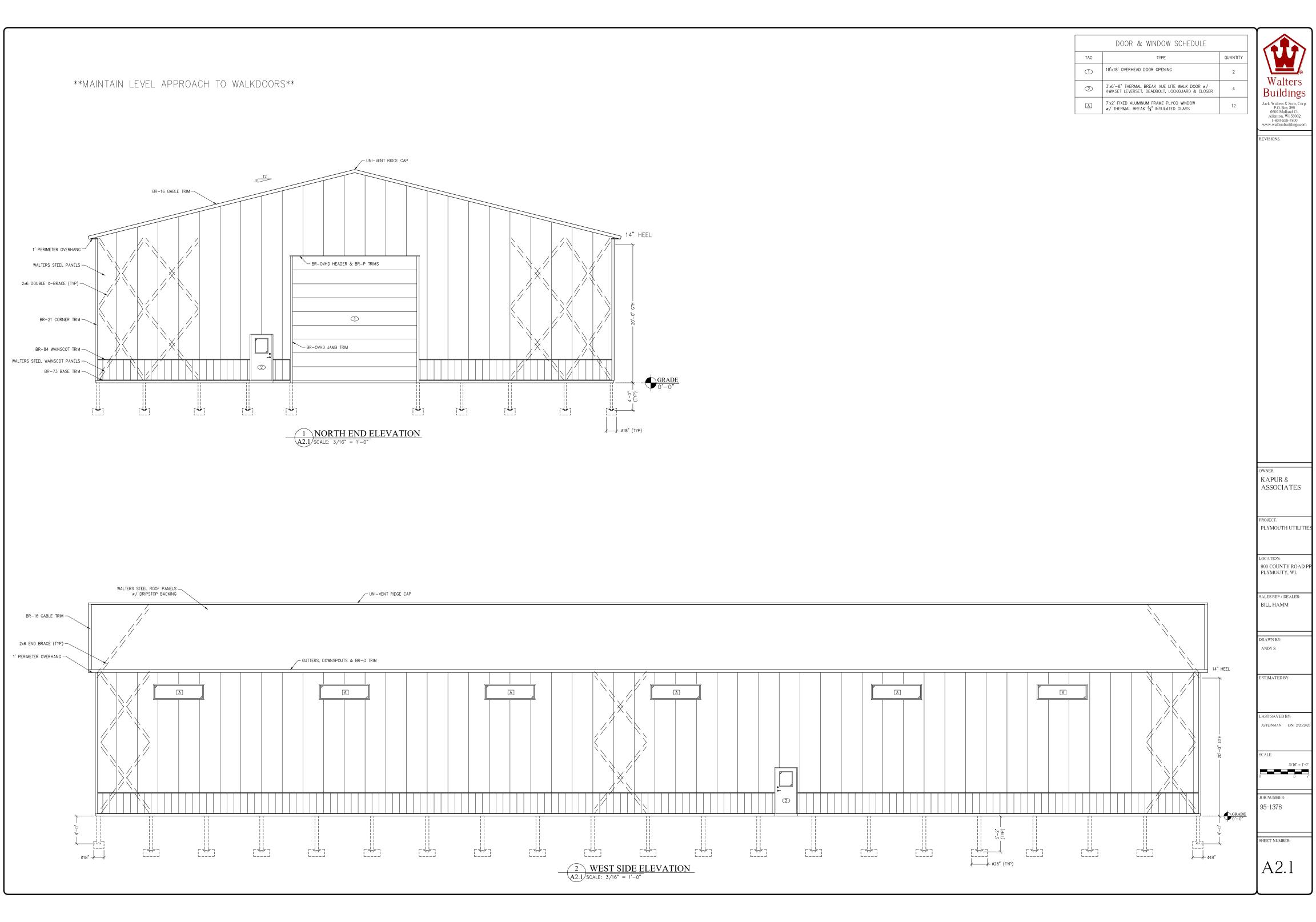
OB NUMBER:

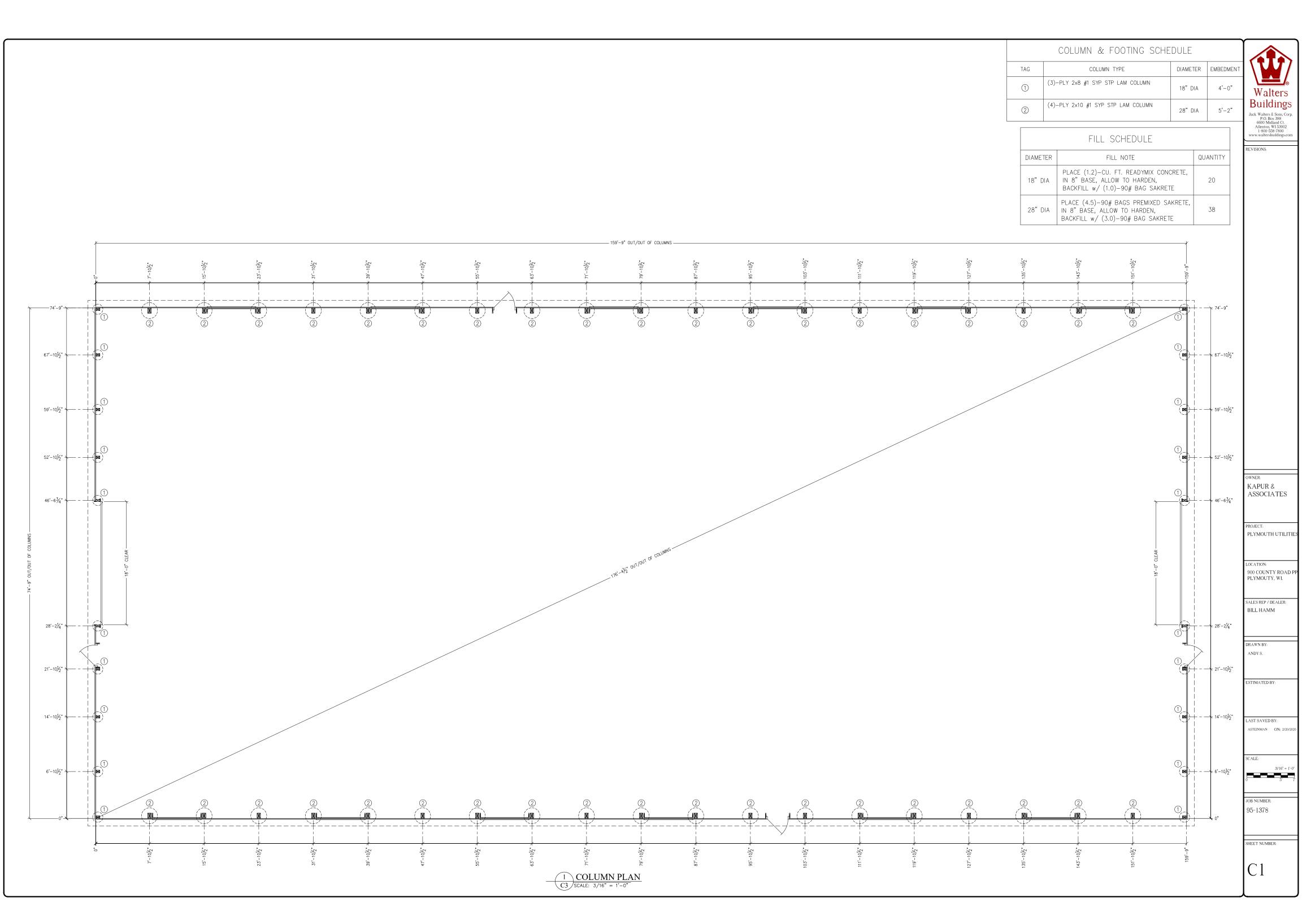
# **ABBREVIATIONS** L.A.V. Lavatory

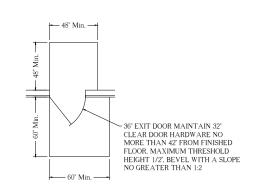
AFF	Above Finish Floor	DBL	Double	LVR	Louver	R.O.	Rough Opening
ASPH	Asphalt	Ea.	Each	MAS	Masonry	R.O.W.	Right of Way
BD	Base Board	E.E.	Each End	MIL	Millimeter(s)	S.C.	Straight Chord
BBP	Blocking Between Purlins	E.F.	Each Face	M.O.	Masonry Opening	S.O.G.	Slab on Grade
BIT	Bituminuous	E.W.	Each Way	NBW	Not By Walters Buildings	IN.	Square
BLK(G)	Block(ing)	F.D.	Floor Drain	N.I.C.	Not In Contract	STP	Steel Transfer Plate
BOT	Bottom	F.E.	Fire Extinguisher	N.T.S.	Not To Scale	T&G	Tongue & Groove
BRG	Bearing	F.O.	Framed Opening	O.C.	On Center(s)	T.O.L.	Top of Ledger
B.S.	Both Sides	FT	Feet	OHD	Overhead Door	T.O.W.	Top of Wall
ą.	Centerline	GA	Gage, Gauge	0/0	Out to Out	TYP	Typical(ly)
CFT	Cubic Foot	GTE	Grade to Eave	PERI	Perimeter	TRTD	Treated
C.H.	Ceiling Height	GTH	Grade to Heel	PL	Property Line	U.O.N.A.	Unless Otherwise Noted
CLOS	Closet	GV	Galvanized	PSF	Pounds per Square Foot	WH	Water Heater
COM	Common	IN.	Inch	PSI	Pounds per Square Inch	WWF	Welded Wire Fabric
CMU	Concrete Masonry Unit	LAM	Laminated	P.T.	Pressure Treated		

Design Snow Load (Ps = Live Load): 29.4 PSF Unbalanced Snow Load = 28 PSF Roof Snow Load Used= 30 PSF Total Truss Load Used= 40 PSF 115 MPH Exposure C Design Wind Load (P=Velocity Pressure): 16.5 PSF Presumed Soil Bearing Capacity: 3000 PSF Presumed Lateral Soil Pressure: 200 PSF









SLOPES NOT GREATER THAN 1.48 WITH A MAXIMUM RISE OF 30° DOORWAYS MAINTAIN 32° CLEAR HALLWAYS MAINTAIN 36° CLEAR

WALK DOOR CLEAR SPACE

(E) EXITS
PROVIDE AN APPROVED TYPE ILLUMINATED SIGN BEARING THE WORK "EXIT" IN 6" HIGH
LETTERS ABOVE ALL DOORS SHOWN THUS (E). ALL EXIT DOORS SHALL BE EQUIPPED
WITH STANDARD TYPE EXIT HARDWARE OPERABLE FROM THE INSIDE WITHOUT THE USE
OF LATCH, KEY OR BOLT. ALL EXIT DOORS ARE ON ACCESSIBLE ROUTE

 $\underline{\sf EXIT\ DOORS}$  SHALL MAINTAIN 32" x 80" CLEAR AT ALL TIME. WILL BE PROVIDED WITH A LEVER HANDLE LOCKSET NOT MORE THAN 42" ABOVE FINISHED FLOOR. MAINTAIN LEVEL APPROACHES TO EXIT DOORS

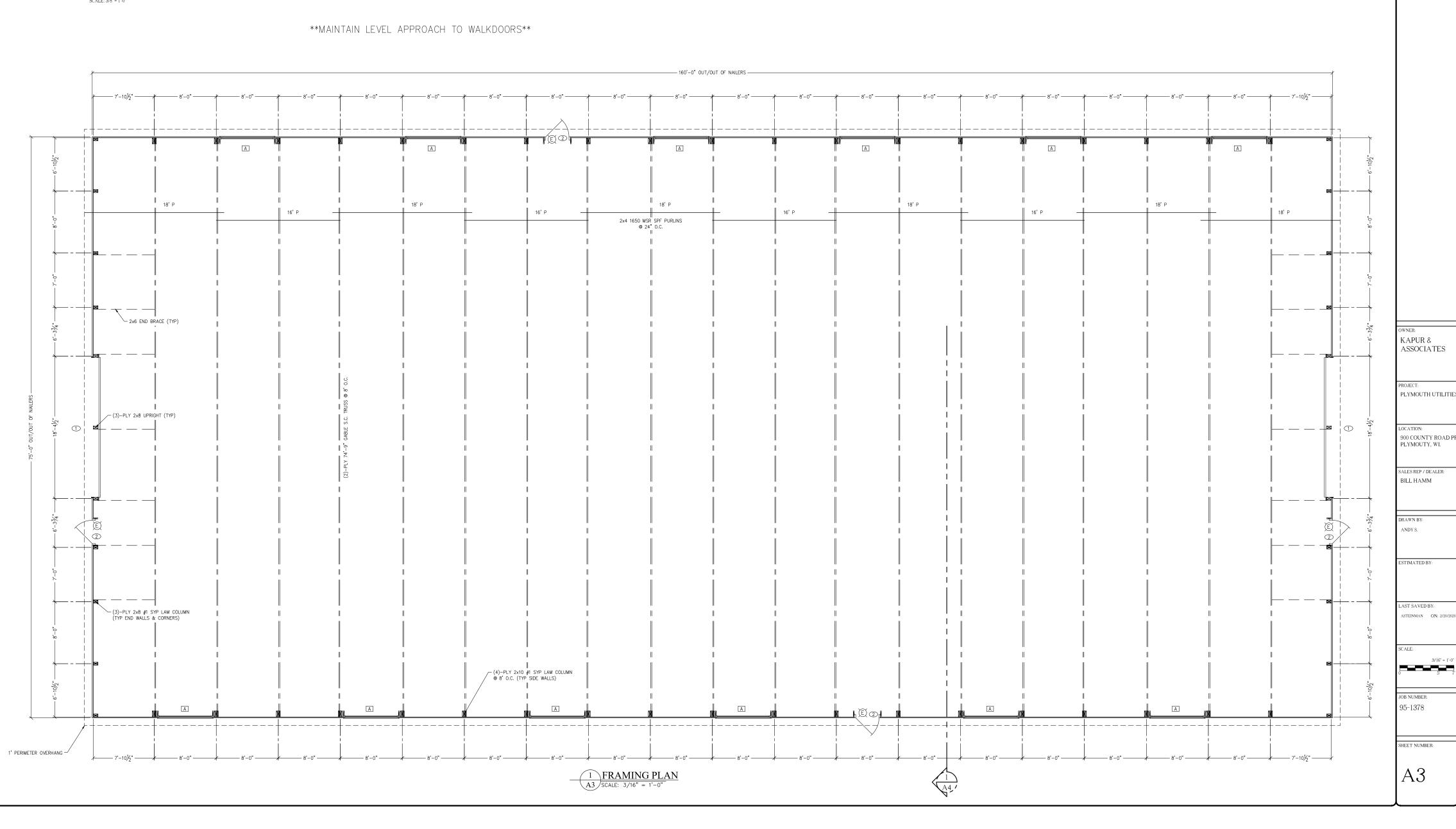
EXIT LIGHT & SIGN
PROVIDING NOT LESS THAN FIVE FOOTCANDLES OF ILLUMINATION WITH A CONTRAST
RATIO NOT LESS THAN 0.5. SHALL BE ILLUMINATED AT ALL TIME THE BUILDING IS
OCCUPIED AND CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM THAT PROVIDES
ILLUMINATION FOR A PEROID OF NOT LESS THAN 90 MINUTES AFTER POWER LOSS.

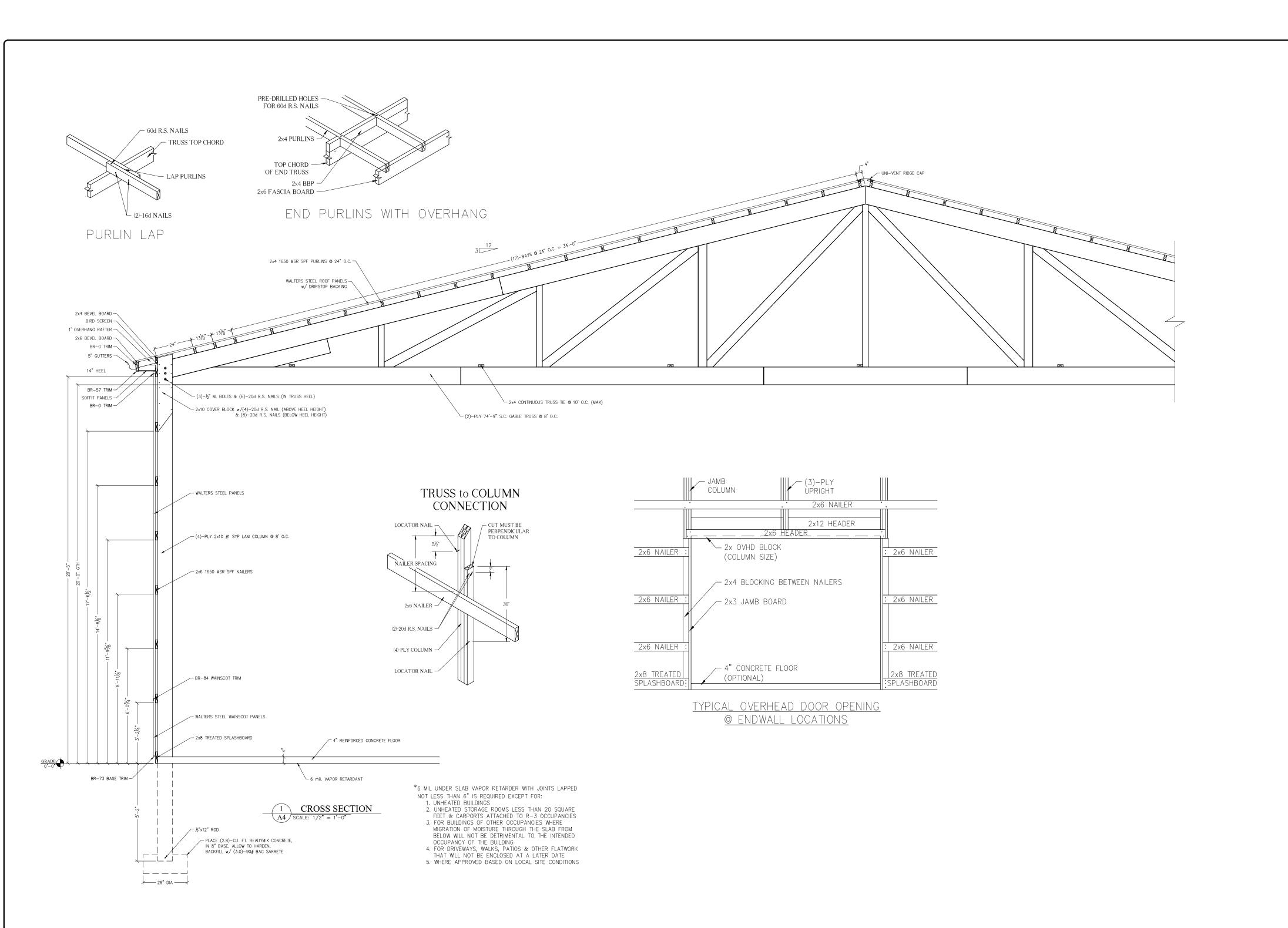
MEANS OF EGRESS LIGHTING
THE INTENSITY OF FLOOR LIGHTING SHALL NOT BE LESS THAN ONE FOOT CANDLE OF
ILLUMINATION AT THE WALKING SURFACE LEVEL.

\* Two 2 1/2 Gallon Water Type Extinguishers can be used to fulfill the requirements of One 4-A Rated Extinguisher

	DOOR & WINDOW SCHEDULE		
TAG	TYPE	QUANTIT	
1	18'x18' OVERHEAD DOOR OPENING	2	
2	3'x6'-8" THERMAL BREAK VUE LITE WALK DOOR w/ KWIKSET LEVERSET, DEADBOLT, LOCKGUARD & CLOSER		
A	7'x2' FIXED ALUMINUM FRAME PLYCO WINDOW w/ THERMAL BREAK %" INSULATED GLASS	12	

Buildings Jack Walters & Sons, Corp P.O. Box 388 6600 Midland Ct. Allenton, WI 53002 1-800-558-7800 www.waltersbuildings.cor







EVISIONS:

owner: KAPUR & ASSOCIATES

PROJECT:
PLYMOUTH UTILITIES

LOCATION: 900 COUNTY ROAD I PLYMOUTY, WI.

SALES REP / DEALER: BILL HAMM

RAWN BY: ANDY S.

ESTIMATED BY:

LAST SAVED BY:

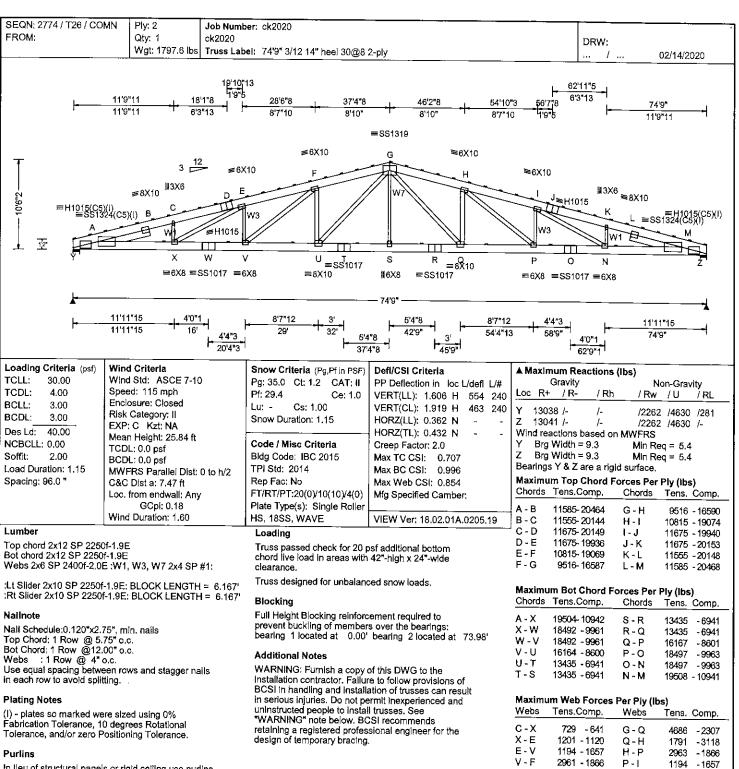
ASTEINMAN ON: 2/20/2

SCALE: 1/2' = 1'-(

JOB NUMBER: 95-1378

SHEET NUMBER:

A4



In fleu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord Spacing(in oc) Start(ft) End(ft) 0.00 74.75 98 0.29 Apply purilins to any chords above or below fillers at 24" OC unless shown otherwise above.

Wind loads based on MWFRS with additional C&C member design.

webs	Tens.Comp.	Webs	Tens. Comp.
C - X X - E	729 - 641 1201 - 1120	G-Q Q-H	4686 -2307 1791 -3118
E-V	1194 - 1657	H-P	2963 -1866
V - F	2961 - 1866	P-I	1194 - 1657
F-U	1791 -3117	I - N	1200 -1120
U-G	4681 - 2307	N - K	729 - 641
G-\$	778 - 101		

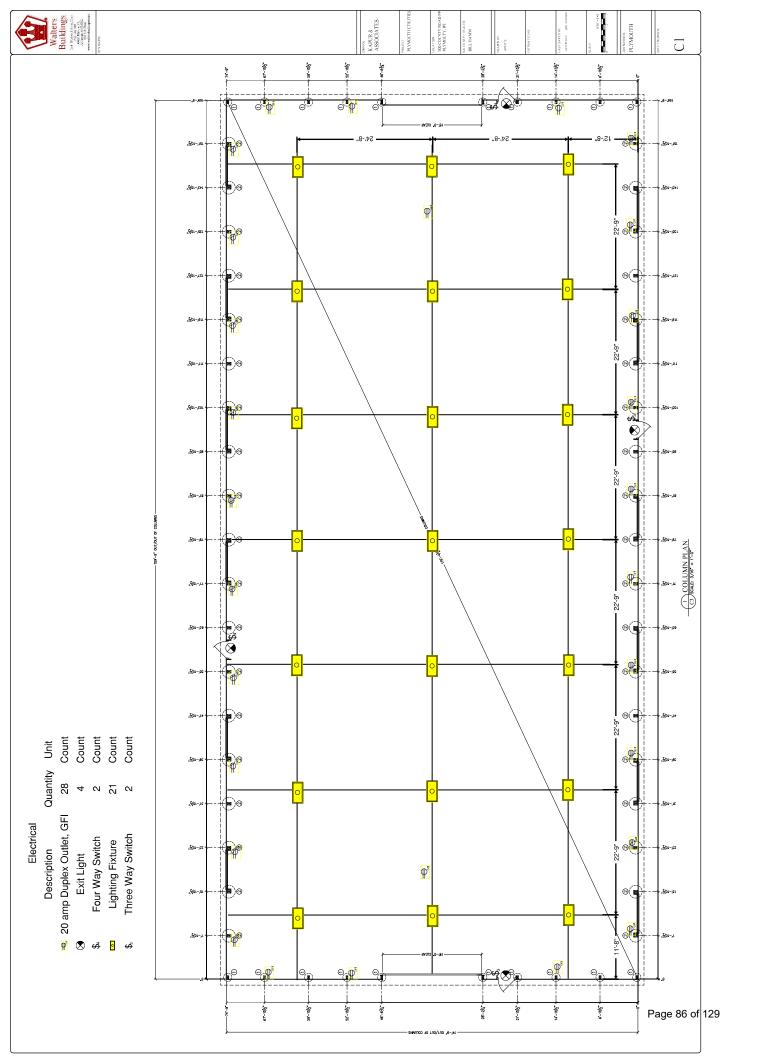
\*\*IMPORTANT\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7, or B10, drawings 160A-7 for standard plate positions.

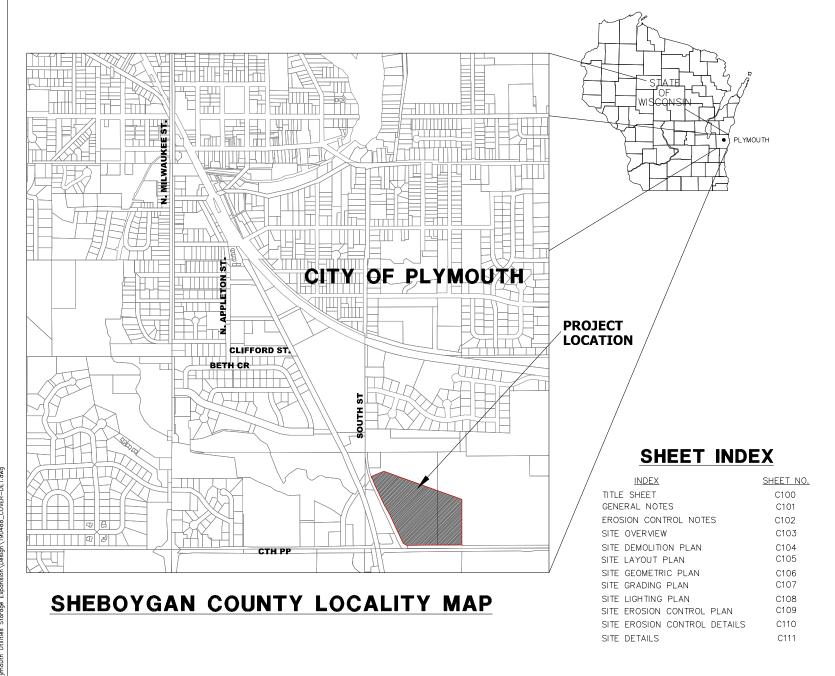
\*\*Refer to drawings of ITM Building Cocations.\*\*

Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any fallure to build the truss in conformance with ANS/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANS/TPI 1 Sec. 2. For more Information see this job's general notes page and these web sites: ALPINE: www.alpineitw.com; TPI: www.tpinst.org; SBCA: www.sbcindustry.com; ICC;

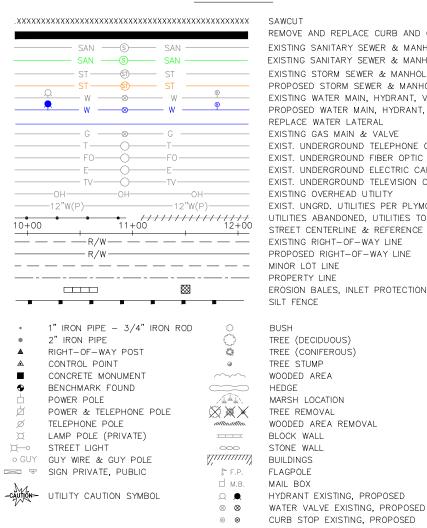
Page 85 of 129



# PLYMOUTH UTILITIES STORAGE EXPANSION CITY OF PLYMOUTH, WISCONSIN



### **LEGEND**



REMOVE AND REPLACE CURB AND GUTTER EXISTING SANITARY SEWER & MANHOLE PROPOSED STORM SEWER & MANHOLE EXISTING WATER MAIN, HYDRANT, VALVE & CURB STOP PROPOSED WATER MAIN. HYDRANT, VALVE & CURB STOP REPLACE WATER LATERAL EXISTING GAS MAIN & VALVE EXIST, UNDERGROUND TELEPHONE CABLE, M.H. EXIST. UNDERGROUND FIBER OPTIC CABLE, M.H. EXIST, UNDERGROUND ELECTRIC CABLE, M.H. EXIST. UNDERGROUND TELEVISION CABLE, M.H. EXIST, UNGRD, UTILITIES PER PLYMOUTH AS-BUILT PLANS UTILITIES ABANDONED, UTILITIES TO BE ABANDONED STREET CENTERLINE & REFERENCE LINE (C/L, R/L) EXISTING RIGHT-OF-WAY LINE PROPOSED RIGHT-OF-WAY LINE MINOR LOT LINE PROPERTY LINE EROSION BALES, INLET PROTECTION TREE (DECIDUOUS) TREE (CONIFEROUS) MARSH LOCATION TREE REMOVAL WOODED AREA REMOVAL

900 COUNTY ROAD PP, CITY OF PLYMOUTH, WISCONSIN 53073



PRELIMINARY

TITLE SHEET

### **GENERAL NOTES**

ALL CONSTRUCTION SHALL MEET STANDARDS SPECIFIED IN THE CONTRACT DOCUMENTS. "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER" AND "DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", LATEST EDITION AND AMENDMENTS.

THE INFORMATION IN THIS PLAN SET REPRESENTS THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL INFORMATION IN THE FIELD.

PROJECT SPECIFICATIONS CONTROL ALL WORK REQUIREMENTS ASSOCIATED WITH THIS PROJECT.

THE LOCATIONS OF UTILITIES. AS NOTED ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. IT IS CONTRACTOR RESPONSIBILITY TO VERIFY ALL UTILITY LOCATIONS.

NO TREES OR SHRUBS ARE TO BE REMOVED UNLESS INDICATED ON THE PLANS OR AS REQUESTED BY THE ENGINEER.

ALL HOLES OR OPENINGS BELOW SUBGRADE RESULTING FROM THE ABANDONMENT OR REMOVAL OF EXISTING STRUCTURES OR FROM THE GRUBBING OF TREES OR STUMPS SHALL BE BACKFILLED WITH GRANULAR BACKFILL. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.

ALL GRADES SHOWN ON THE PLANS ARE FINISHED GRADES.

EXCESS EXCAVATED SPOILS SHALL BE REMOVED BY CONTRACTOR AND INCIDENTAL TO CONTRACT.

CONTRACTOR SHALL ADHERE TO OSHA REQUIREMENTS FOR CLEARANCE TO OVERHEAD POWER LINES. SEE OSHA STANDARD NUMBER 1926.1408.

### **EROSION CONTROL NOTES**

ALL EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE DNR "TECHNICAL STANDARDS" AND THE CITY OF PLYMOUTH EROSION CONTROL REQUIREMENTS.

TOPSOIL OF 6" MIN., SEED, FERTILIZE, AND MULCH TO INCLUDE ALL AREAS DISTURBED DURING CONSTRUCTION. CONTRACTOR TO WATER AND MAINTAIN RESTORATION AREAS UNTIL AFTER GRASS REQUIRES MOWING.

### UTILITIES

FOR WATER, SANITARY SEWER AND STORM SEWER CONTACT PLYMOUTH UTILITIES 900 CTH PP PLYMOUTH, WI 53073 CATHERINE AUSTIN (920) 893-1471

FOR CABLE TV CONTACT CHARTER COMMUNICATIONS 1320 N. DR. MARTIN LUTHER KING JR. DR. STEVE CRAMER (414) 277-4045

FOR ELECTRIC CONTACT PLYMOUTH UTILITIES 900 CTH PP PLYMOUTH, WI 53073 RYAN ROEHRBORN (920) 893-1471

WISCONSIN PUBLIC SERVICE-GAS 933 S. WILDWOOD AVE SHEBOYGAN, WI 53081 MIKE LOWTHER (920) 451-3743

FRONTIER TELEPHONE OPERATIONS 118 DIVISION STREET PLYMOUTH, WI 53073 RUSS RYAN (920) 583-3275

### **BENCHMARKS**

BM#	NORTHING	EASTING	ELEV.	DESCRIPTION
118	178942	148023	848.45	CHISELED CROSS IN TOP OF HYDRANT FLANGE BOLT AT THE SW CORNER OF SUHRKE RD. & MILWAUKEE ST.
22	172973	148030	851.05	TOP OF NW FLANGE BOLT OF THE HYDRANT AT THE NW CORNER OF S. MILWAUKEE ST. & W. RIVERBEND DR.
23	175440	147962	819.57	PLYMOUTH, BRASS CAP IN TOP OF 2.5' X 4.0' CONCRETE BASE OF SOUTH RETAINING WALL OF THE MULLET RIVER, 100' WEST OF
				S. MILWAUKEE ST., AT THE NE CORNER OF THE FORMER PLYMOUTH UTILITIES BLD. USC & GS DISK STAMPED "PLYMOUTH 1934".
24	174118	149094	844.99	Z-89, STANDARD DISK STAMPED "Z 89 1934" LOCATED IN THE SE LEG OF A CONCRETE WATER TOWER BASE (TOWER HAS BEEN RAZED),
				24" ABOVE GROUND, 200' SOUTH OF THE C/L OF REED ST. AND 60' EAST OF THE C/L OF THE MAIN LINE TRACKS.
25	173532	150665	818.55	TOP OF THE NE BOLT AT THE ARROW ON THE HYDRANT AT THE SW CORNER OF SOUTH STREET AND E. CLIFFORD ST.

### **CONTROL POINTS**

CP#	NORTHING	EASTING
100	175369.31	148057.95
101	175374.51	150694.52
98	178009.68	148049.23
99	178021.98	150665.12
102	172731.74	148053.60
103	172741.31	150685.01



### **EARTHWORK**

NET WASTE: CUT: 1353 CY 4497 CY 3144 CY

ALL EARTHWORK QUANTITIES ARE RAW AND HAVE NOT BEEN ADJUSTED FOR COMPACTION.

kapurine.c PROJECT:

PROJECT NAME HERE

LOCATION:

900 COUNTY ROAD PP, CITY OF PLYMOUTH, WISCONSIN 53073



REVISIONS:

PRELIMINARY

DESCRIPTION PRELIMINARY SCALE: II in SHEET:

**GENERAL NOTES** 

PROJECT MANAGER PROJECT NUMBEROJECT NUMBER HERE DATE:

### EROSION CONTROL MEASURES

- 1. CONTRACTOR TO INSTALL AND MAINTAIN EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN AND PER THE LATEST WDNR TECHNICAL STANDARDS. TECHNICAL STANDARDS MAY BE VIEWED ONLINE AT: <a href="http://dnr.wi.gov/runoff/stormwater/techstds.htm">http://dnr.wi.gov/runoff/stormwater/techstds.htm</a>
- 2. INLETS AND CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION THAT ARE PHASED IN WITH CONSTRUCTION TO REDUCE SEDIMENT FROM ENTERING THESE AREAS PER WDNR TECHNICAL STANDARD 1060 AS FOLLOWS
  - A. ALL FABRIC BARRIERS SELECTED FOR INLET/CATCH BASIN PROTECTION DEVICES SHALL BE SELECTED FROM THE LIST OF APPROVED FABRICS CERTIFIED FOR INLET PROTECTION, GEOTEXTILE FABRIC, TYPE FF IN THE CURRENT EDITION OF THE WDOT PRODUCT ACCEPTABILITY LIST, TO OBTAIN THE PAL, PLEASE REFER TO THIS WEBSITE: http://www.dot.wisconsin.gov/business/engrserv/pal.htm
- B. PLACEMENT OF SPOIL MATERIAL, DEBRIS, SOILS, ETC. ON TOP OF INLETS/CATCH BASINS, EVEN IF TEMPORARY, IS PROHIBITED.
- C. SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING PER MANUFACTURER'S SPECIFICATIONS. ALL SEDIMENT COLLECTED SHALL BE PROPERLY DISPOSED OF TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.
- D. DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLETS/CATCH BASINS AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET/CATCH BASIN SHALL BE REMOVED AND PROPERLY DISPOSED OF PER NOTE C ABOVE.
- E. INLET PROTECTION MAY BE REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF CONSTRUCTION, HAULING OR MOVEMENT OF CONSTRUCTION EQUIPMENT THROUGHOUT THE SITE, AND ONCE THE SITE IS ADEQUATELY STABILIZED, UNLESS OTHERWISE NOTIFIED BY THE ENGINEER.

- 3. SEEDING AND MULCHING/EMAT TECHNIQUES SHALL BE USED ON AREAS OF EXPOSED SOIL WHERE THE ESTABLISHMENT OF VEGETATION IS DESIRED. TEMPORARY SEEDING APPLIES TO DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND-DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 CALENDAR DAYS, REQUIRING VEGETATIVE COVER FOR LESS THAN ONE YEAR. SEED AND MULCH OR EMAT SHALL BE UTILIZED THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH VEGETATION TO HELP REDUCE EROSION PER WDNR TECHNICAL STANDARDS 1052, 1058, AND 1059 RESPECTIVELY AS
  - A. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.
- B. FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING.
- C. ALL SEED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN STATE STATUTES AND OF THE ADMINISTRATIVE CODE CHAPTER ATCP 20.01 REGARDING NOXIOUS WEED SEED CONTENT AND LABELING
- D. SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE ON THE LABEL.
- F SEEDING SHALL NOT TAKE PLACE WHEN THE SOIL IS TOO WET
- CONTRACTOR MAY CONSIDER WATERING TO HELP ESTABLISH THE SEED. WATER APPLICATION RATES SHALL BE CONTROLLED TO HELP PREVENT RUNOFF AND EROSION.
- G. CONTRACTOR IS TO LIMIT VEHICLE TRAFFIC AND OTHER FORMS OF COMPACTION IN AREAS THAT ARE SEEDED AS MUCH AS POSSIBLE. RE-SEED DRIVEN OVER AREAS AS NEEDED.
- H. MULCH/EMAT SHOULD BE PLACED WITHIN 24 HOURS OF
- MULCHING OPERATIONS SHALL NOT TAKE PLACE DURING PERIODS OF EXCESSIVELY HIGH WINDS THAT WOULD PRECLUDE THE PROPER PLACEMENT OF MULCH.
- MULCH THAT IS DISPLACED SHALL BE REAPPLIED AND PROPERLY ANCHORED. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS
- WHEN CHANNEL EROSION MAT IS USED WITHIN CONSTRUCTION SITE DIVERSION AREAS, TECHNICAL STANDARDS 1053 AND 1066 SHALL BE FOLLOWED.
- 6. A COPY OF EROSION CONTROL INSPECTION REPORTS AND THE APPROVED EROSION CONTROL PLANS SHALL BE KEPT ON SITE.
- 7. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL PRACTICES BY THE END OF EACH WORKDAY.
- 8. LOCAL ROADS SHALL BE CLEAN BY THE END OF EACH WORKDAY. CONTRACTOR SHALL HAVE LOCAL ROADS SWEPT WHERE SEDIMENT ACCUMULATES.

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY /0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS WPDES PERMIT & CHAPTER 30 PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL. ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOODPLAINS UNLESS IDENTIFIED IN THE PLANS & APPROVED BY WDNR/ USACOE

### EROSION CONTROL OPERATION SEQUENCE + SCHEDULE

AFTER BIDS ARE RECEIVED, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH ALL RELEVANT PARTIES IN ATTENDANCE.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF PROJECT. THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION, AND WEATHER CONDITIONS IN A DAILY

ALL REGULATORY PERMITS, PROJECT PLANS, AND INSPECTION LOGS SHALL BE KEPT ON SITE IN AN ACCESSIBLE LOCATION, SUCH AS A MAILBOX, AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.

CONTRACTORS ARE TO MAINTAIN THE CONSTRUCTION SITE IN A NEAT AND TIDY MANNER FOR THE DURATION OF THE PROJECT.

### THE TIMING AND SEQUENCE OF CONSTRUCTION IS SCHEDULED AS FOLLOWS:

- 1. OBTAIN ALL NECESSARY APPROVALS, PERMITS, ETC.
- 2. CONSTRUCTION IS SCHEDULED TO BEGIN IN SPRING/SUMMER 2020.
- 3. INLET PROTECTION SHALL BE INSTALLED AS SHOWN ON THE PLANS AND/OR AS DIRECTED BY CONSTRUCTION ENGINEER, AND INSPECTED PRIOR TO COMMENCING OF ANY LAND DISTURBING ACTIVITIES PER PROJECT PLANS AND DETAILS.
- 4. SITE DEMOLITION, REMOVALS, AND EARTH WORK CAN OCCUR AFTER ALL EROSION CONTROL MEASURES ARE IN PLACE.
- 5. EXCAVATE TO SUBGRADE FOR BUILDING AND PARKING/DRIVE AREAS.
- 6. PLACE GRAVEL BASE FOR BUILDING AND PARKING/DRIVE AREAS.
- 7. CONSTRUCT BUILDING.
- 8. INSTALL LIGHTING.
- 9. PAVE PARKING/DRIVE AREAS.
- 10. RESTORATION WHICH INCLUDES TOPSOIL, SEEDING, FERTILIZING, MULCHING/EROSION MATTING, AS PER PLANS AND SPECIFICATIONS.
- 11. IF STABILIZATION CANNOT BE COMPLETED BY NOVEMBER 1, THEN THE USE OF EMAT AND/OR ANIONIC POLYACRYLAMIDE CONFORMING TO WDNR TECHNICAL STANDARD 1050 SHALL BE USED.
- 12. UPON PROJECT COMPLETION, ALL INLET PROTECTION SHALL BE
- 13. BARE SOIL LEFT UNDISTURBED FOR 14 CALENDAR DAYS MUST BE TEMPORARILY STABILIZED PER WDNR TECHNICAL STANDARD 1059, OR TEMPORARY GRADING PRACTICES PER WDNR TECHNICAL STANDARD 1067 MAY BE IMPLEMENTED. HOWEVER BY NOVEMBER 1, THE SITE SHALL BE STABILIZED PER NOTE 10 ABOVE.
- 14. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN RESTORED AREAS UNTIL GRASS IS ESTABLISHED (SEE PROJECT SPECIFICATIONS). CONTRACTOR SHALL WATER RESTORED AREAS IF NECESSARY

IF CONSTRUCTION SCHEDULES SHOULD CHANGE SIGNIFICANTLY, THIS PLAN NARRATIVE WILL BE UPDATED AND RESUBMITTED BY THE GENERAL CONTRACTOR TO THE CITY/VILLAGE/TOWN AND WDNR.

apurinc.c

PROJECT NAME HERE

LOCATION:

900 COUNTY ROAD PP, CITY OF PLYMOUTH, WISCONSIN 53073

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{ }	PLYMOUTH UTILTIES
13 .	In the Heart of America's Dairyland

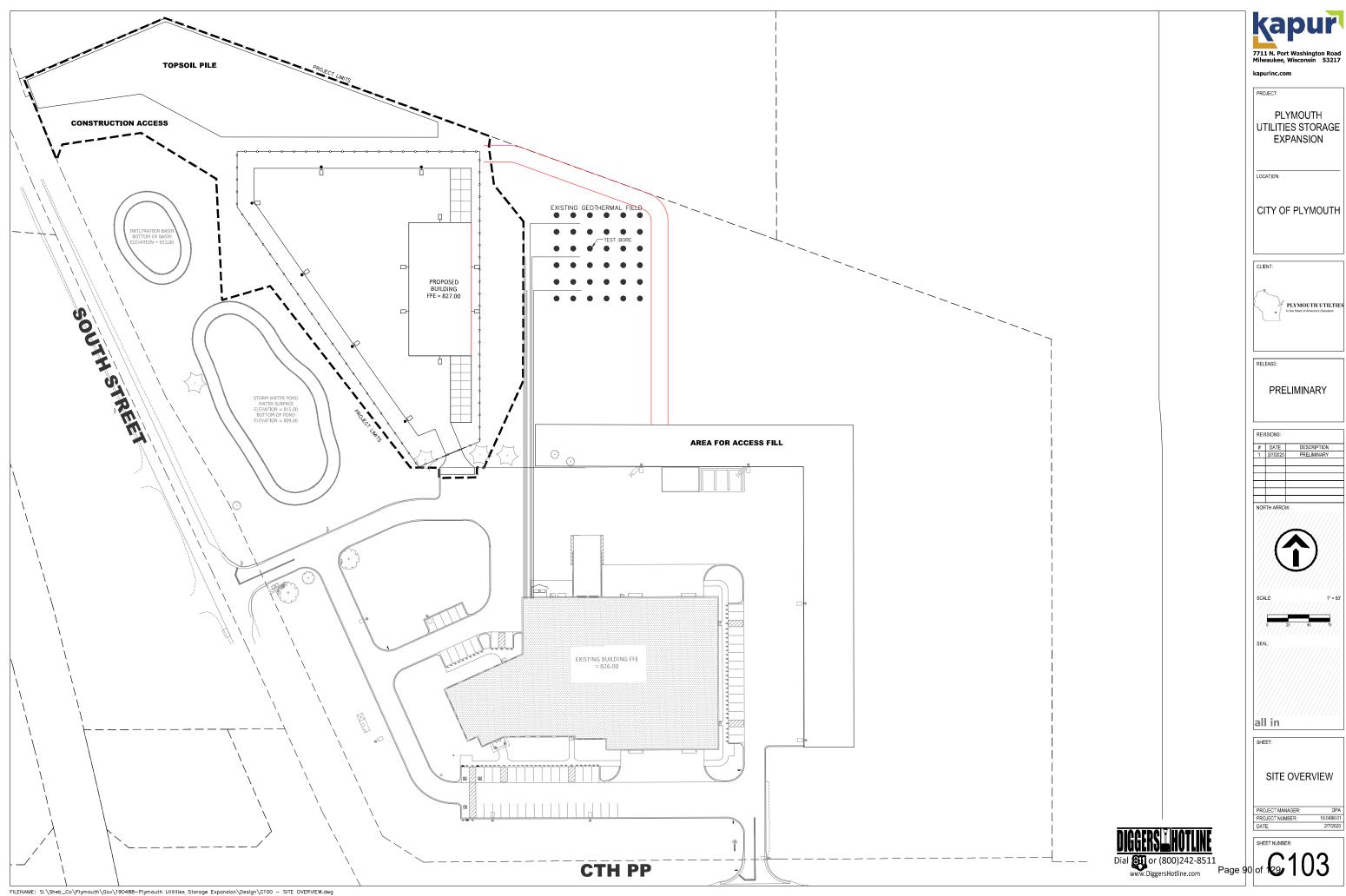
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**EROSION CONTROL** NOTES

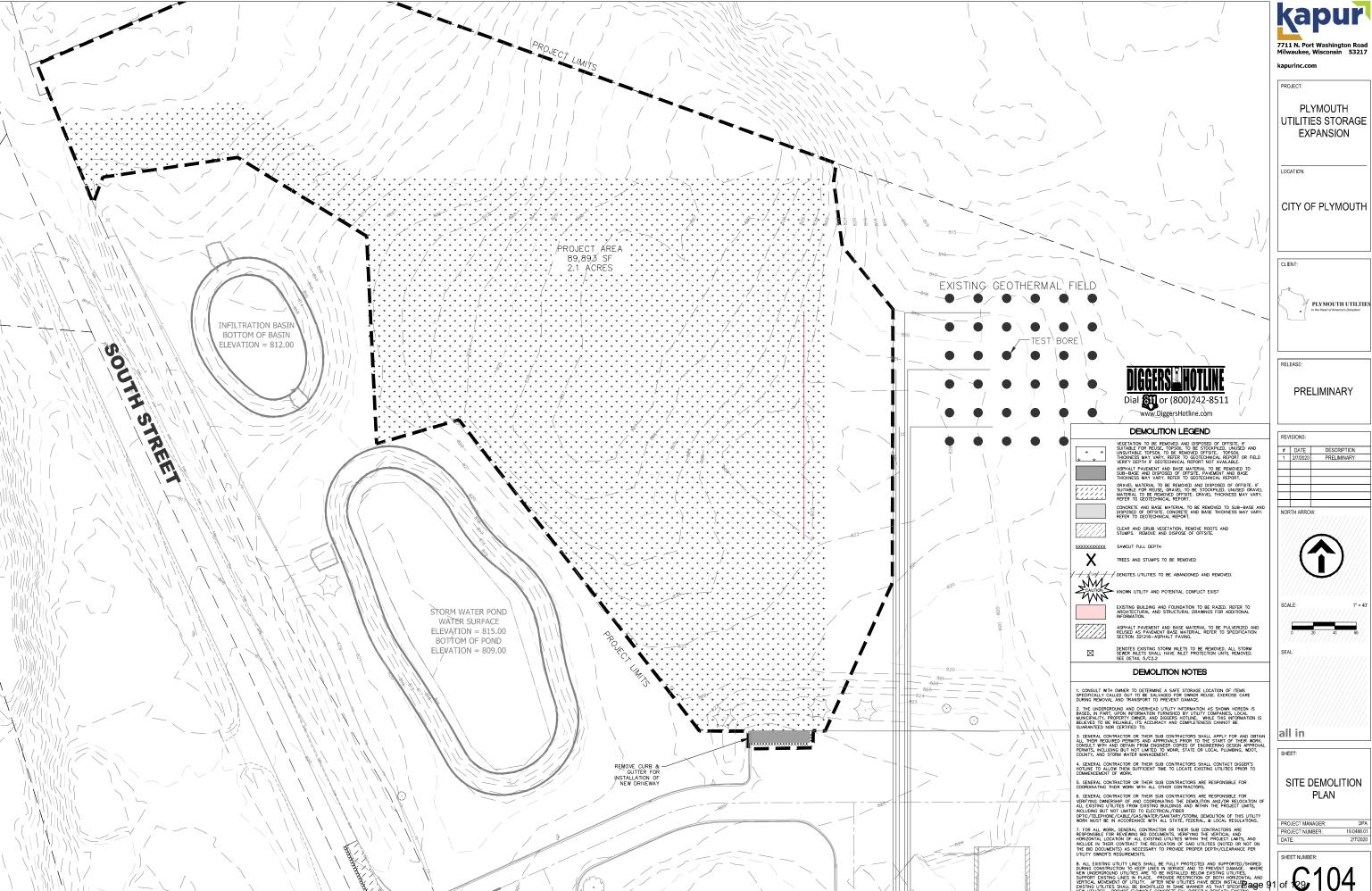
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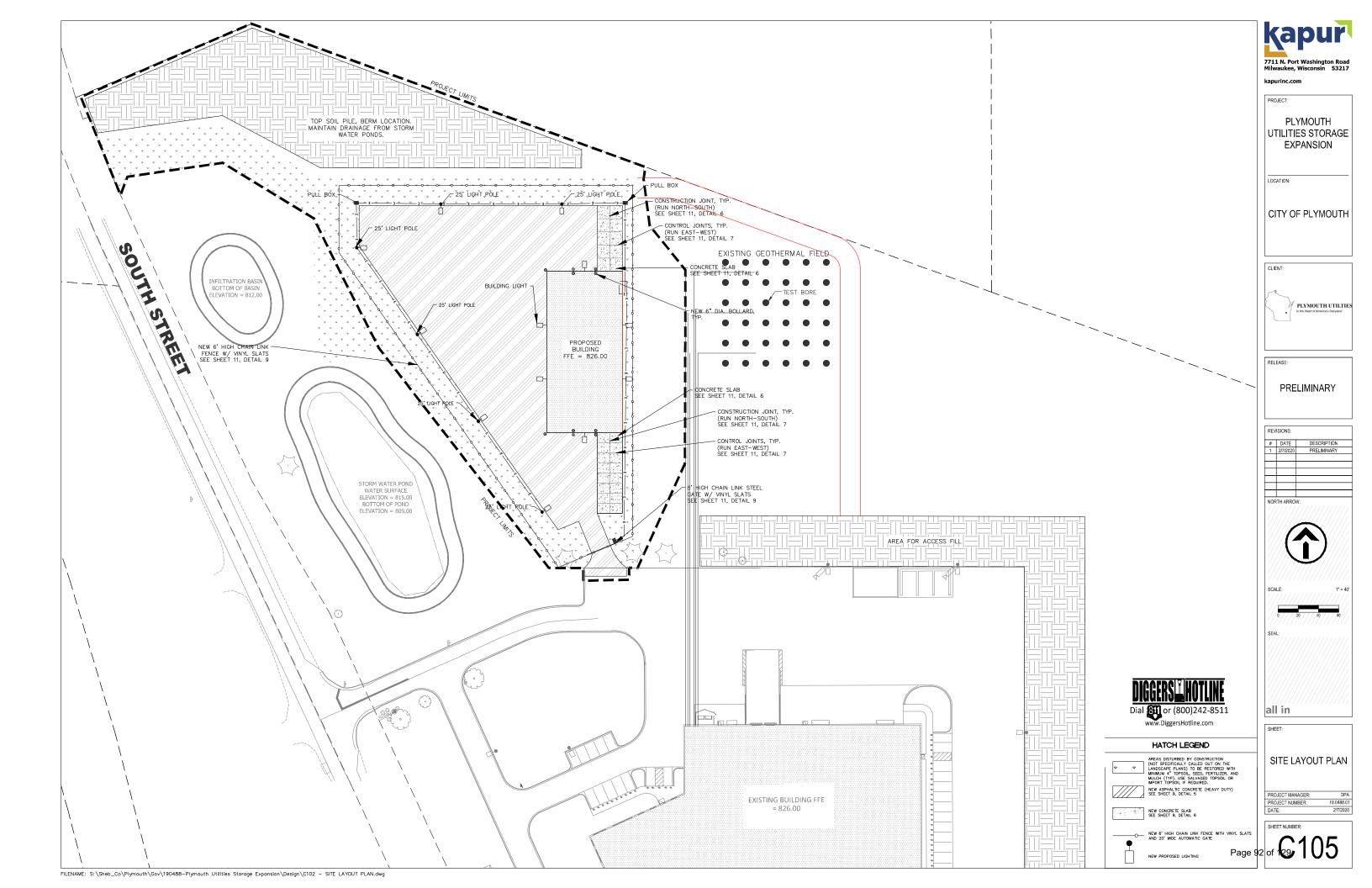


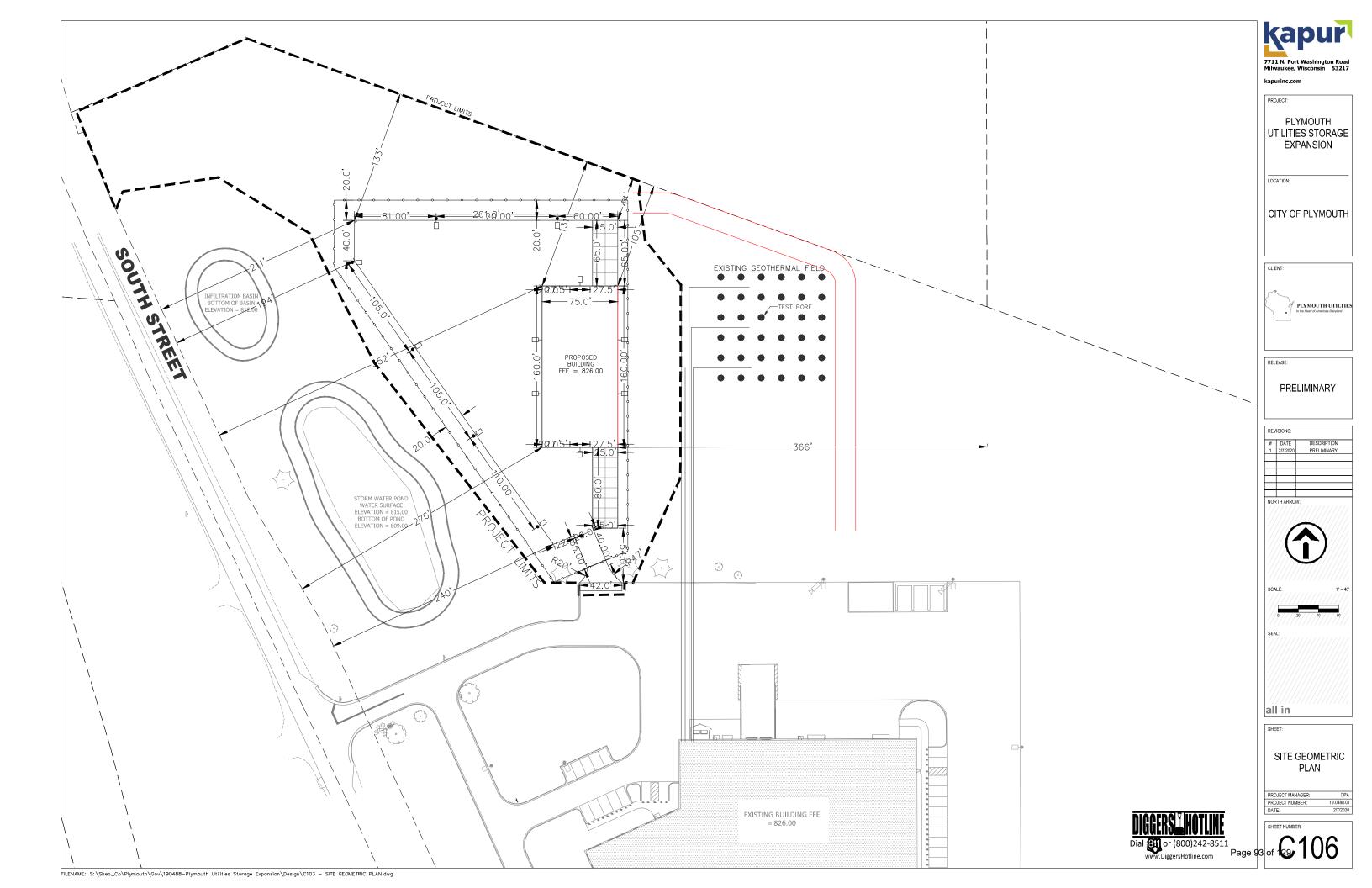
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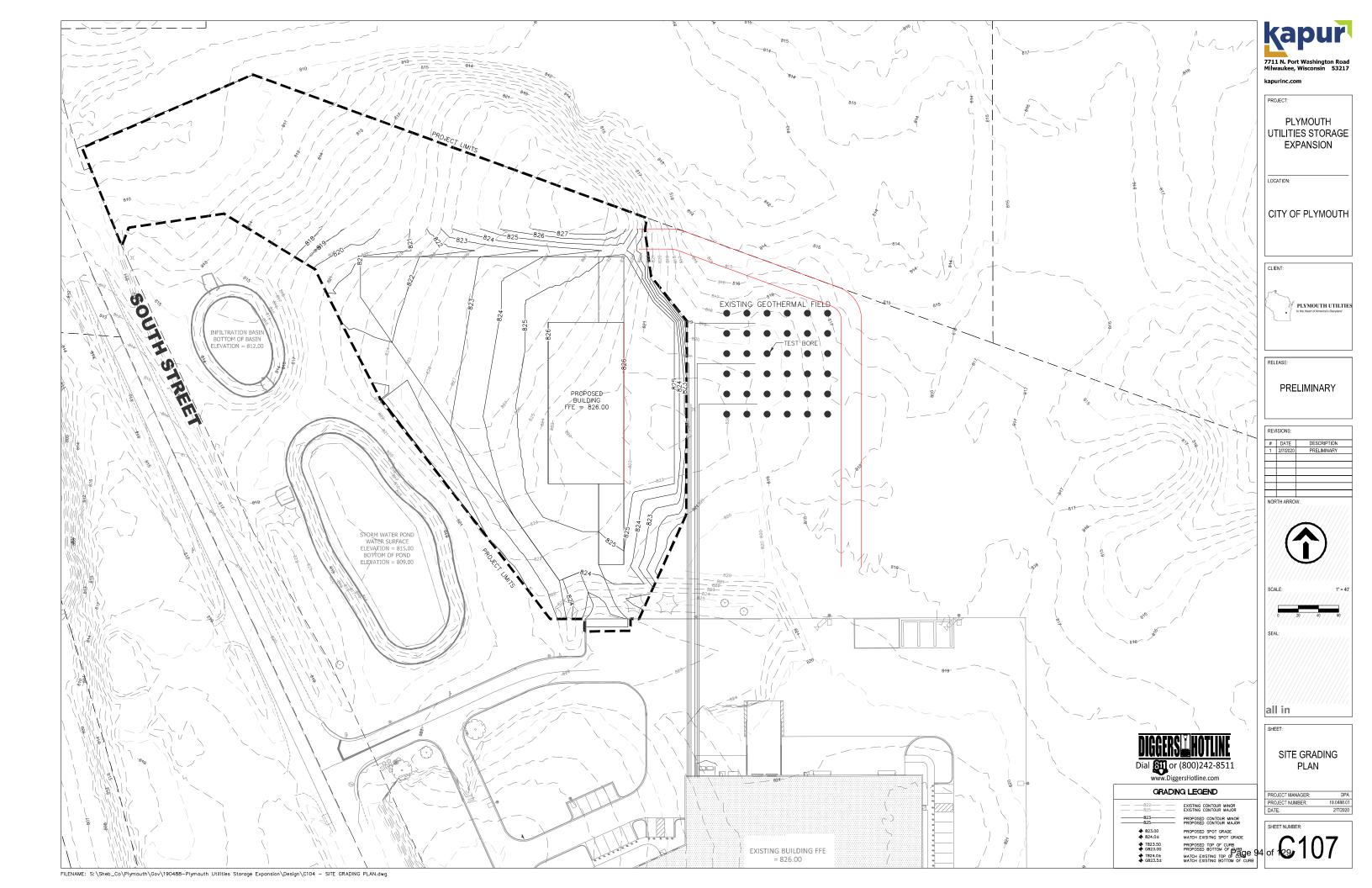


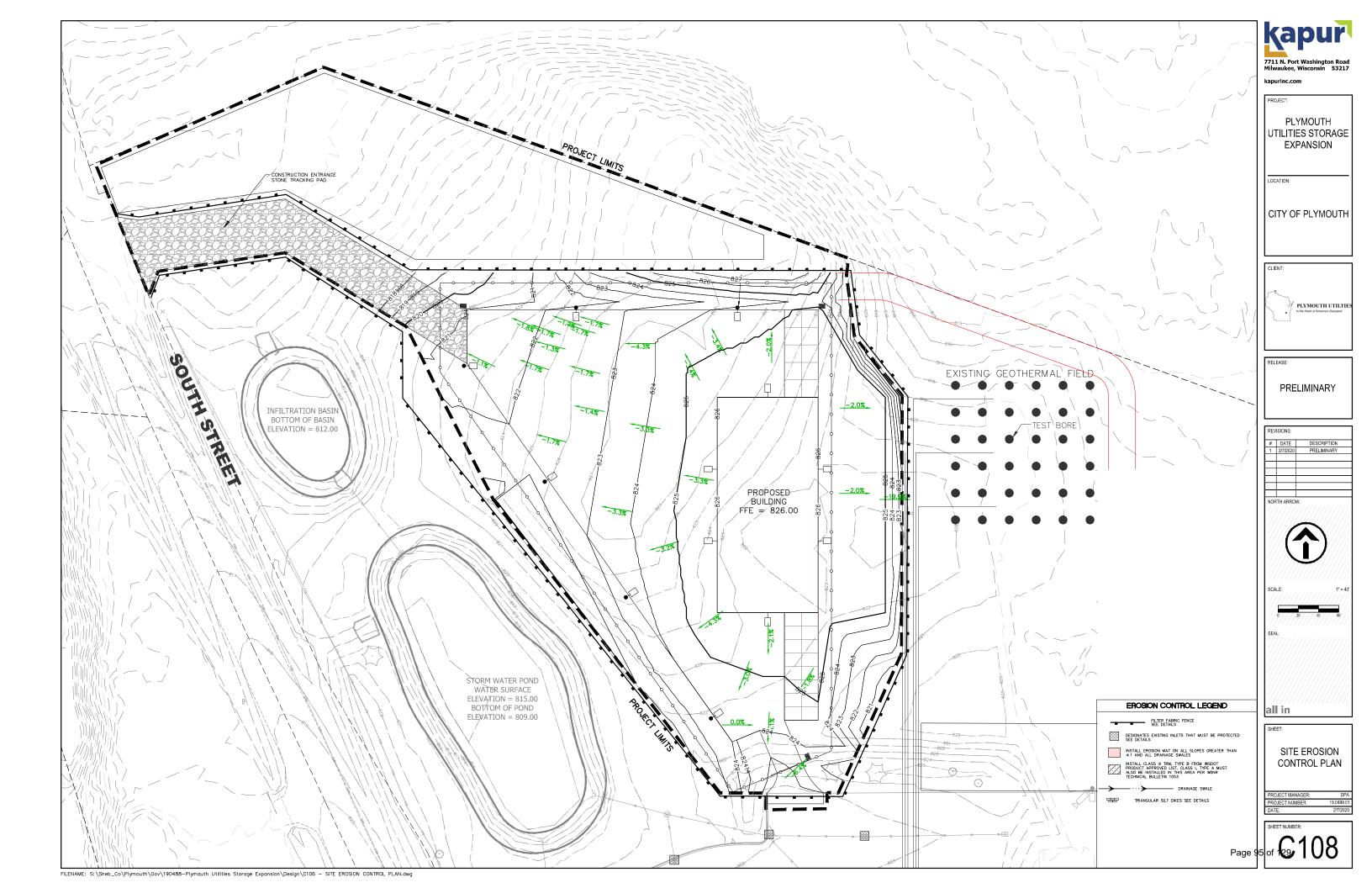
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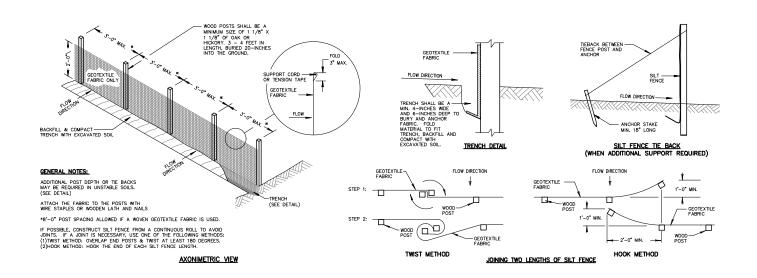
PLYMOUTH UTILTIES



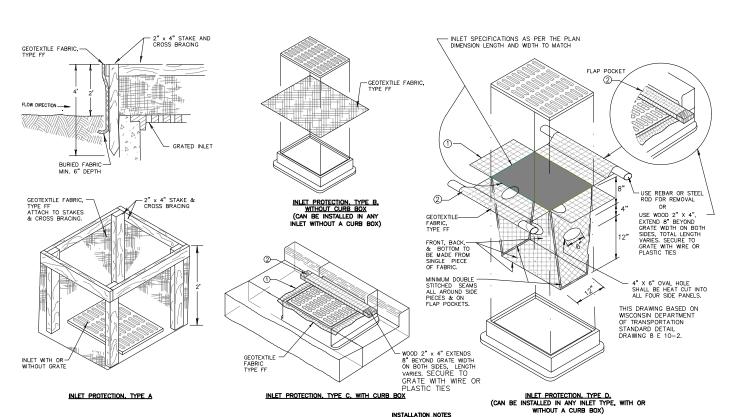








# FILTER FABRIC SILT FENCE DETAIL



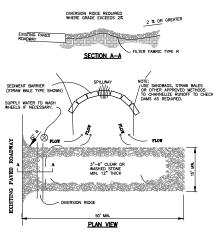
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2\*X4\*. THE REBAR STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE FLAP AND NOT BLOCK THE TOP HALF OF THE CURB BOX OPENING.

# TYPE B & C TRIM EXCESS FARRIC A MINIMUM OF 10° AROUND GRATE FOR MANTENANCE OR REMOVAL. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEMIN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

UTILIZE INLET PROTECTION TYPE D IN INLETS DEEPER THAN 30°, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. HE INSTALLED BAG SHALL HAVE A MANIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLDES, OF 3°.

WHERE NECESSARY THE CONTRACTOR MAY GONE! OF THE BAG, USING PLASTIC SPIT TIES, TO FIT INLETS LESS THAN 30° DEPTH. THE TIES SHALL BET PLACED AT A MAXIMUM OF 4° FROM THE BOTTOM OF THE BAG.

INLET PROTECTION DETAIL



### GENERAL NOTES:

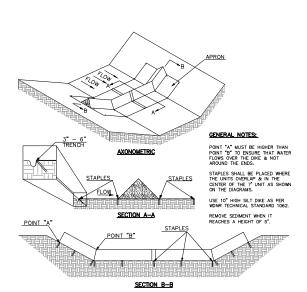
THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 3- TO 6-INCH STONE. PLACE THE GRAVEL TO THE SPECIFIC GRADE & DIMENSIONS SHOWN ON THE PLANS & GRADE TO CREATE A SMOOTH SURFACE.

THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN
12 INCHES. USE GEOTEXTILE FABRICS, IF NECESSARY,
TO IMPROVE STABILITY OF THE FOUNDATION IN
LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER
TABLE.

THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.

PROVIDE DRAINAGE FOR A 2 YEAR — 24 HOUR EVENT TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.

STONE TRACKING CONSTRUCTION ENTRANCE



TRIANGULAR SILT DIKE





PROJECT: **PLYMOUTH** UTILITIES STORAGE **EXPANSION** 

CITY OF PLYMOUTH



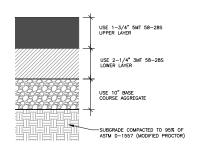
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REVISIONS:

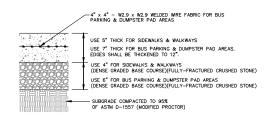
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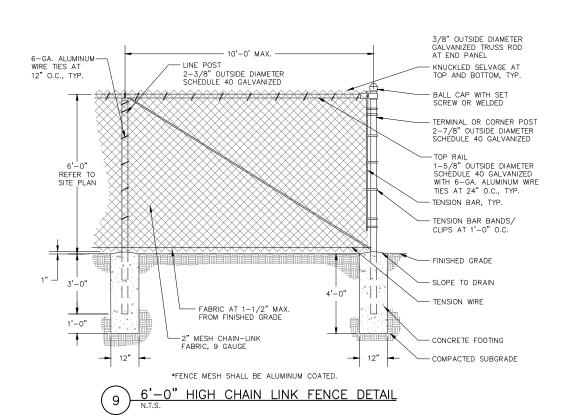
SITE EROSION **CONTROL DETAILS** 

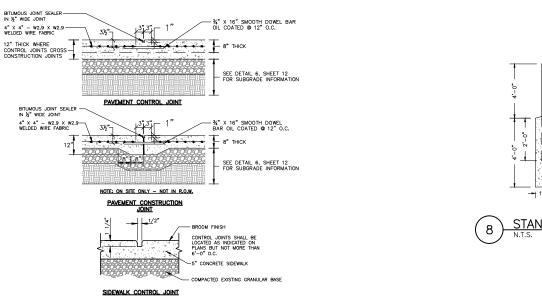


# ASPHALTIC CONCRETE PAVEMENT



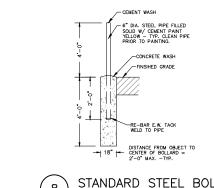
### CONCRETE SIDEWALK/SLAB 6





CONTROL & CONSTRUCTION JOINT DETAILS (TYP.)

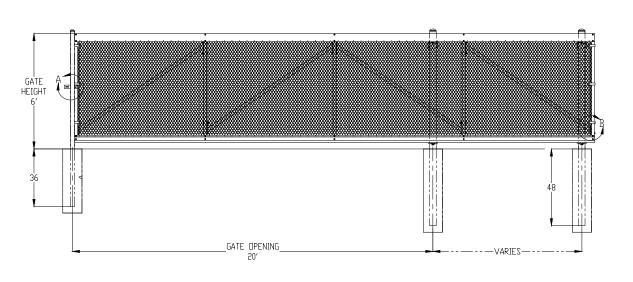
FENCE POST

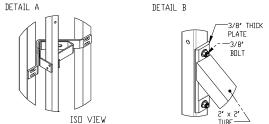


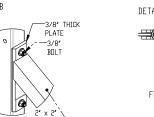
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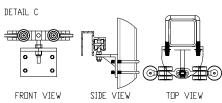
STANDARD STEEL BOLLARD
N.T.S.











DETAIL D FRONT VIEW SIDE VIEW TOP VIEW

GATE
MOUNTING
POST—
FENCE
MOUNTING
POST

SHEET NUMBER 129

SITE DETAILS

all im

PROJECT:

LOCATION:

RELEASE:

REVISIONS

NORTH ARROW:

**PLYMOUTH** UTILITIES STORAGE

EXPANSION

CITY OF PLYMOUTH

PLYMOUTH UTILTIES

**PRELIMINARY** 

# DATE DESCRIPTION
1 2/7/2020 PRELIMINARY

6' HIGH CHAINLINK STEEL GATE AND FENCE W/ VINYL SLATS (10)-

### Matthew T. Starker



### **Deputy Chief of Police**

Phone 920-893-6541 Fax 920-892-6143 Web www.plymouthgov.com

128 Smith Street P.O. Box 218 Plymouth, WI 53073

**DATE:** March 12, 2025

**TO:** Plan Commission

**FROM:** Matthew Starker, Deputy Chief of Police

**RE:** Police Department Garage

Plymouth Planning Commission

Subject: Police Garage

**Dear Plymouth Planning Commission** 

I'm writing to request approval for the addition of a Police Department garage to be located on the southeast corner of the back parking lot. There are a variety of practical and operational reasons for which the garage would assist the police department.

- 1. Fleet Expansion: Over the years our department has expanded our fleet size to include another patrol car, crime scene enclosed trailer, electric patrol bicycles and a training car used by officers and city employees. The garage will help with the need space to protect the fleet from weather and vandalism.
- 2. Evidence Storage: Unfortunately, as crime has increased over the years, we have needed the space to process vehicle related evidence. These vehicles need to be secured and not accessible to the general public.
- 3. Emergency Readiness: Having extra vehicles prepped and accessible in a separate garage ensures faster deployment during large emergencies, like natural disasters or mass gathering requiring more patrols.
- 4. Weather Protection: In Wisconsin we can see harsh weather, an extra garage can extend the life of vehicles by shielding them from snow, ice, hail, or extreme heat, reducing maintenance costs.

Zoning Review: Assistant City Administrator Johnston conducted a zoning review and found that the proposed garage is conforming in terms of setbacks and size. The property has B-2 zoning which does not setback restrictions in regards to proximity to adjacent property lines and a maximum height of 25' for accessory structures. The garage is much less than 25' in height.

Sincerely, Matthew T. Starker Deputy Chief of Police Plymouth Police Department 920-893-6541

mstarker@wiplymouthpd.com

3/7/25, 11:30 AM Google Maps

# Google Maps



Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 50 ft

MENNEDS

# Design & Buy

GARAGE

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16.474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

How to recall and purchase your design at home:

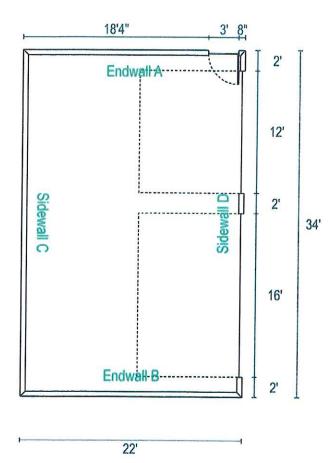


- 1. On Menards.com, enter "Design & Buy" in the search bar
- Select the Garage Designer
   Recall your design by entering Design ID: 324756923148
- 4. Follow the on-screen purchasing instructions

How to purchase your design at the store:

- 1. Enter Design ID: 324756923148 at the Design-It Center Kiosk in the Building Materials Department 2. Follow the on-screen purchasing instructions

# Garage Image



For other design systems search "Design & Buy" on Menards.com

Page 1 of 11

MENARDS

**Design&Buy** GARAGE

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16.474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

For other design systems search "Design & Buy" on Menards.com

Page 2 of 11

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16,474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

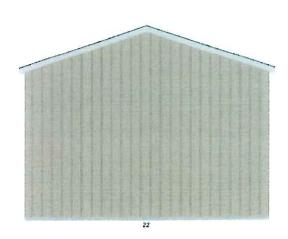
MENARDS.



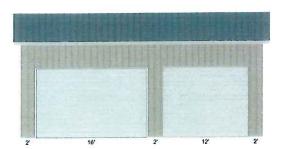
# **Dimensions**

# Wall Configurations

\*Some items like wainscot, gutter, gable accents, are not displayed if selected.



**ENDWALL B** 



### SIDEWALL D

16X10 White Deep Ribbed Torsion Spring 12X10 White Deep Ribbed Torsion Spring

Garage

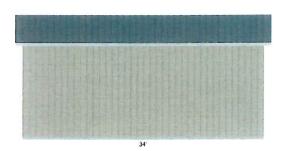
Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148

Design 1D: 324756923148
Estimated Price: \$16,474.96

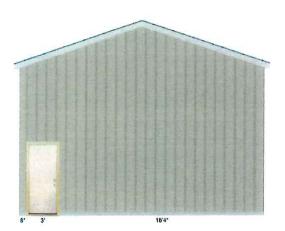
\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

MENARDS.





SIDEWALL C



**ENDWALLA** 

Mastercraft® 36W x 80H Primed Steel 6-Panel

MENARDS"

Design&Buy

GARAGE

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16,474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

design and overhang framing. Please verify lengths and quantities prior to ordering materials. Note the steel for 10 and 12 foot buildings are based on 10 or 12 foot plate height.

\*Note Steel panels are custom cut to the inch. The length needed for your project may be slightly different based final truss

### **Materials**

### **Building Type**

Building Location Zip Code:

53073

**Building Type:** 

Gable

**Building Info** 

**Building Width:** 

22'

**Building Length:** 

34'

Building Height:

12'

Wall Framing Stud:

 $2 \times 6$ 

**Roof Framing:** 

Truss Construction (Sealed truss designs available on request)

Truss Type:

Common (24" on center spacing)

Roof Pitch:

6"

4/12 Pitch

Eave Overhang:

12"

Gable Overhang:

14

Curb:

Poured Curb

Curb Height:

4"

Foundation Type:

Poured

**Building Plan:** 

No I do not need a Building Plan

### Wall Info

Siding Material Types:

Through Fastener Steel Panel (Pro-Rib)

Through Fastener Steel Siding:

Cut to Length Pro-Rib® Steel Panel, Color: Ash Gray

Steel Corner Trim Color:

Ash Gray

Accent Material Type:

None

Wainscot Material Type:

None

Wall Sheathing:

IVOIIC

Wall Diloutillig

7/16 x 4 x 8 OSB(Oriented Strand Board)

House Wrap: Gable Vents:

Kimberly-Clark BLOCK-IT®9'x75'House Wrap

None

For other design systems search "Design & Buy" on Menards.com

Page 5 of 11

MENARDS

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16.474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

**Design&Buy**GARAGE

### Roof Info

Roof Sheathing:

1/2 x 4 x 8 OSB(Oriented Strand Board)

Roofing Material Type:

Through Fastener Steel Panel

Through Fastener Steel Roofing:

Cut to Length Pro-Rib® Steel Panel, Color: Charcoal Gray

SnowBar Trim:

Roof Underlayment:

#30 Felt Roofing Underlayment 3' x 72' (216 sq. ft.)

Ice and Water Barrier:

None

None

Fascia Material Type:

Steel Fascia

Fascia:

12' Steel L-6 Fascia, Color: White

Soffit Material Type:

Steel Soffit

Soffit:

Steel Vented Soffit Panel, Color: White

Gutter Material Type:

Aluminum

Gutter:

Spectra Metals 5" x 10' K-Style Aluminum Gutter, Color:

White

**Openings** 

Service Door:

Mastercraft® 36W x 80H Primed Steel 6-Panel

Overhead Door:

16X10 White Deep Ribbed Torsion Spring

Additional Information:

**C5EST Torsion Spring** 

Overhead Door:

12X10 White Deep Ribbed Torsion Spring

Additional Information:

C5EST Torsion Spring

Overhead Door Trim Type:

Vinyl

Vinyl Trim Color:

White

Garage Door Opener:

Chamberlain® 1 1/4 HP Wi-Fi Belt Drive Battery Backup

Garage Door Opener (Best)

Garage Door Opener:

Chamberlain® 1 1/4 HP Wi-Fi Belt Drive Battery Backup

Garage Door Opener (Best)

**Additional Options** 

Ceiling Insulation:

None

Wall Insulation:

None

Ceiling Finish:

None

Wall Finish:

None

Mounting Blocks:

No

For other design systems search "Design & Buy" on Menards.com

Page 6 of 11

CIENARDS"

**Design&Buy** GARAGE

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16,474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

Hydronic Radiant Heat:

Anchor bolt:

Framing Fasteners:

**Sheathing Fasteners:** 

Truss Fastener:

Overhead Opening Hardware:

No

Grip Fast® 1/2 x 10 HDG Anchor Bolt w/ Nut & Washer Grip Fast® 3 x .120 30-34° Paper Hot-Dipped Galvanized Ring Shank Clipped Head Framing Nail - 2,000 Count

Grip Fast® 2-3/8 x .113 30-34° Paper Bright Ring Shank

Clipped Head Framing Nail - 2,500 Count

FastenMaster® TimberLOK® 5/16 x 6 Hex Drive Black Hex

Head Timber Screw - 50 Count

Yes

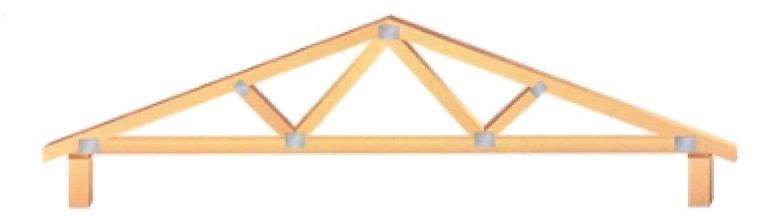
Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16,474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.



# **Helpful Hints for Garage Construction**

- Studs are estimated 16 inches on center with single treated bottom plate and double top plate.
- For 10- and 12-foot-tall buildings studs should be cut for an approximate 10- or 12-foot plate height.
- If steel is estimated (Pro-Rib or Pro-Snap), the steel lengths should be verified based off the actual framing. Plate height (stud length), truss heel and other framing should be confirmed. Steel is estimated to the inch, make sure the lengths are accurate based on final overall building design.
- Trusses included are estimated at 2 feet on center spacing. The design is based on the zip code provided, design and loading should be verified.
- Trusses should not be cut or modified with the exception of trimming the truss tails to the correct overhang.
- The bottom chord is designed to support standard ceiling and insulation materials.
- Dropped end trusses are estimated with 18 inch and 24 inch gable overhangs.



Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148 Estimated Price: \$16,474.96

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.





# **Menards Building Checklist Planning**

- Get a permit. Check restrictions, building codes or local zoning to make sure your design complies with all requirements.
- Contact local utilities to ensure construction will not disturb any electrical, cable or plumbing.
- If necessary, hire a professional to help with planning and construction.
- Consider site conditions including soil type, grade, and runoff before finalizing your design.
- Material estimates provided can be changed to meet your needs.
- Menards offers professional delivery of materials. Delivery is extra based on the distance from your local Menards store to your building site.
- Practice good safety habits, use PPE including eye protection & dust masks during construction.
- Make sure to follow good building practice and all manufacturer's instructions. Use all the hardware and fasteners recommended.

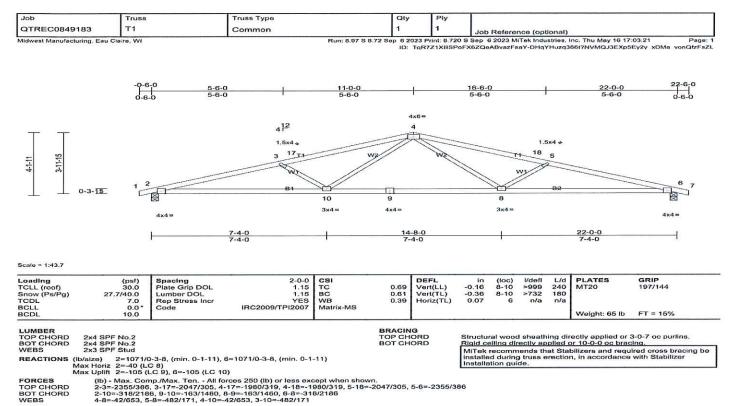
CIENCEDS'

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148

# Design & Buy

**GARAGE** 

Estimated Price: \$16,474.96 \*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.



NOTES 1) Un 2) Wi

- 3)
- Unbalanced roof live loads have been considered for this design.

  Wind: ASCE 7-05; 90mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (low-rise) exterior zone and C-C Exterior (2) zone; cantilever left and right exposed; end vertical left and right exposed; G-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60 TCLL: ASCE 7-05; FC=30.0 psf (groof live loads: Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow); Ps=27.7 psf (roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Ct=1.10

  Roof design snow load has been reduced to account for slope.

  Unbalanced snow loads have been considered for this design.

  This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 27.7 psf on overhangs non-concurrent with other live loads.

  This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.

  \*\*This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-06-00 tall by 2-00-00 wide will fit between the bottom chord and any other members.

  Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 105 ib uplift at joint 2 and 105 ib uplift at joint 8.

  This truss is designed in accordance with the 2009 international Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

Standard LOAD CASE(S)

Job

CHENEROS'

Date: 3/07/2025 - 5:16 AM Design Name: Garage Design Design ID: 324756923148

# Design & Buy

**GARAGE** 

Estimated Price: \$16,474.96 \*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

Qty

Truss Type

QTREC08018	817 T1E		COMMON		2	1	J	b Refere	nce (op	tional)		
Aldwest Manufact	uring, Eau Claire, WI	***************************************		Run: 6.61 S							Inc. Wed Aug 09 10 LMOGfils?JOPlynT	:16:54 Page xH1rWbC5HaTT5sypcS
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3-11-15	0-3-15 1 2		4 <sup>12</sup> 3 26 <sub>11</sub> ST ST ST ST		ST4		7 ST3	ST2	27	9	1	10 11
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		1			22-	0-0						
oading CLL (roof) Snow (Ps/Pg)	(psf) 30.0 27.7/40.0	Spacing Plate Grip DOL Lumber DOL	2:0-2-6,0-0-12], [15:0-3 2-0-0 1.15 1.15	CSI TC BC	0.19 0.12	DEFL Vert(LL) Vert(TL)	n/a		l/defi n/a n/a	L/d 999 999	PLATES MT20	GRIP 197/144
CDL BCLL BCDL	7.0 0.0* 10.0	Rep Stress Incr Code	YES IRC2009/TPI2007	WB Matrix-MS	0.07	Horiz(TL	.) 0.00	23	n/a	n/a	Weight: 71 lb	FT = 15%
LUMBER TOP CHORD SOT CHORD OTHERS REACTIONS A (lb) - M	2x4 SPF No.2 2x4 SPF No.2 2x4 SPF No.2 2x4 SPF Studiell All bearings 22-0-0, fax Horiz 2=-40 (Ld fax Upilit All upilit 19, 23 fax Grav All reacti (LC 1), 1	100 (lb) or less at join ons 250 (lb) or less a 0=279 (LC 1), 12=41	ni(s) 2, 10, 12, 13, 14, 1 t joint(s) 13, 15, 17 exc 7 (L.C 15), 14=288 (L.C	apt 2=279 4),	BRACINI TOP CHO BOT CHO	ORD	MiTe Insta	ceiling di k recomn	rectly ap nends th g truss o	polied nat Sta	rectly applied or to	5-0-0 oc purlins. ing. ired cross bracing be
FORCES FOR CHORD SOT CHORD WEBS IOTES ) Unbalance	(lb) - Max. Con 2-3=-477/69 2-18=-79/528 3-18=-299/109		4), 19=279 (LC 1), 23=2 ces 250 (lb) or less exc	2012/10 11/2								

- Unbalanced roof live loads have been considered for this design.
  Wind: ASCE 7-05; 90mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (low-rise) exterior zone and C-C Exterior (2) zone; cantilever left and right exposed; can derical left and right exposed; can derive the responsibility of the responsibilit

LOAD CASE(S)

For other design systems search "Design & Buy" on Menards.com

Page 11 of 11

City of Plymouth 128 Smith St. - P.O. Box 107 Plymouth, WI 53073-0107



Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

**DATE:** March 12, 2025

**TO:** Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

RE: Property Seeking a Comprehensive Plan Map Amendment Recommendation; from

Agricultural to Industrial; Tax Parcel 59271822750 (southeast corner of STH 57 and CTH PP)

Sargento Cheese, Inc. (enclosure)

**Property Seeking Rezoning Recommendation**; A petition to rezone ~66.27 acres of land on the existing parcel with tax-key 59271822750 (southeast corner of STH 57 and CTH PP). Property is currently zoned A Agricultural and seeking HI Heavy Industrial zoning district.

Sargento Cheese, Inc. (enclosure)

### Background:

Sargento Cheese Inc. recently acquired the ~66.27 acre property located at 1587 Highway 57 in the City of Plymouth located on the southeastern corner of STH 57 and CTH PP.

The property was originally two separate parcels of ~36 and ~30 acres respectfully. Sargento recently recorded an affidavit of merger for the two parcels at the Sheboygan County Register of Deeds Office in February to combine them into one parcel. The new parcel number is 59271822750

The current zoning and future land use designation for the property is Agricultural. In an effort to accommodate potential future development, Sargento has submitted a request for rezoning to HI Heavy Industrial and a comprehensive plan amendment to change its future land use to industrial.

<u>Comprehensive Plan:</u> The current future land use map designates Parcel No. 59271822750 as Agricultural. Sargento is seeking an amendment to reclassify the parcel as Industrial. Given a vast majority of adjacent future land uses are designated as industrial in that area, staff supports this amendment to the comprehensive plan.

**<u>Rezoning:</u>** The parcel is presently zoned A Agricultural, and the request is to rezone it as HI Heavy Industrial. Adjacent Properties:

- North: Weber's Gas Station (B-3 Business Highway) & Toro Company (HI Heavy Industrial)
- South: Not Applicable (Town of Plymouth parcel, appears to be partially tilled vacant agricultural land)
- East: (one single family home Town of Plymouth), Certainteed, Culligan, Kurtz ERSA (HI Heavy Industrial)
- West: Not Applicable (Town of Plymouth parcels, appear to be agricultural with housing)

The City's comprehensive plan does not identify the area for future residential development. As a majority of the adjacent properties owners already have HI Heavy Industrial zoning as well as a future land use designation as industrial, staff supports the rezone request to align this property's zoning and future land use designation with adjacent properties.

### **Public Notices:**

Both the comprehensive plan amendment and rezoning petition require public noticing and a hearing before the Common Council before final adoption by ordinance/statute. The rezone notice requires a class 2 notice with the last notice at least one week prior to the public hearing at the Common Council. The comprehensive plan amendment requires a 30 day notice prior to the public hearing. A 10 day by mail notice is also required to any nearby municipalities within 1,000 feet of the affected properties. These notices will be published in the Plymouth review leading up to Common Council action.

### **Future Site Plan Review**

Sargento has provided a preliminary site plan for future development of the property in accordance with the requirements of the rezoning application. The current site plan shows one large building near the northern end of the property along with two driveways – one for trucks and one for regular passenger vehicles with a large parking lot. City staff will continue to work with Sargento on the future development of the site should the rezone request and comprehensive plan be approved by the Common Council. A full site plan application will have to come back for Plan Commission review and approval prior to any future development of the site.

### **Next Steps**

The Common Council will consider the rezoning and comprehensive plan amendment request at a meeting later in the spring and will hold a public hearing for both requests. Due to public noticing requirements for both the rezone and comprehensive plan request, the earliest the Common Council could consider this request would be a May Common Council meeting.

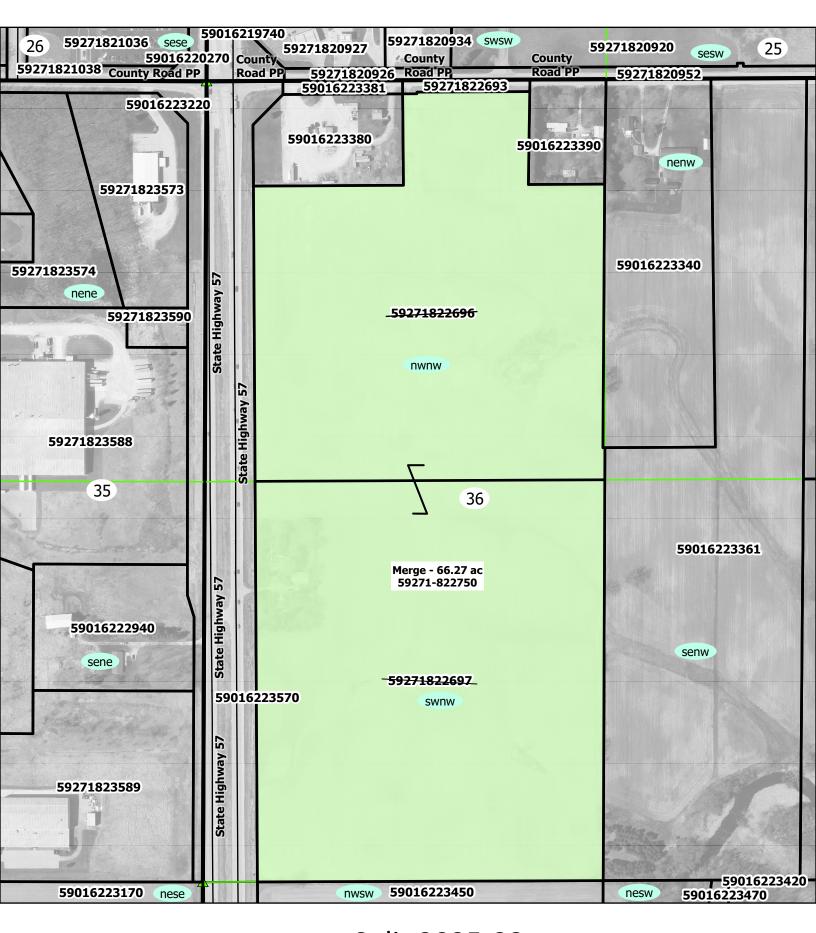
### **Recommendation:**

Staff recommends the Plan Commission approve the Comprehensive Plan Amendment to Industrial from Agricultural, as well as rezoning request from A - Agricultural to HI - Heavy Industrial.

### **Attachments:**

• Preliminary Site Plan from Sargento

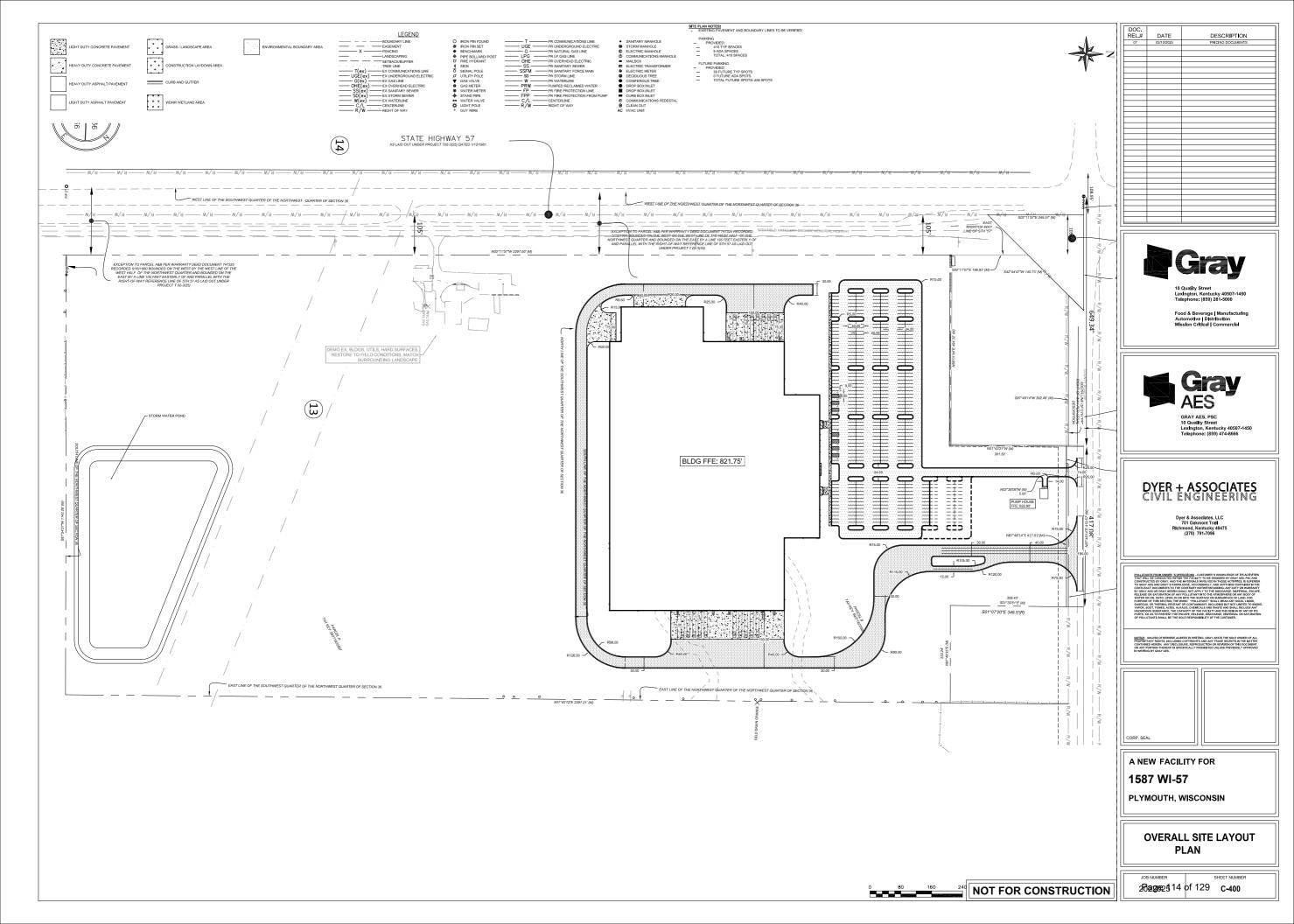
Action	Date	Status
Rezone and Comp Plan	4/3/2025	This meeting
meeting at Plan		
Commission;		
recommendation		
Comp Plan Public Notice in	4/11/2025	To be published
Plymouth Review		
Rezone Public Notice in	4/25, 5/2	To be published
Plymouth Review		
Mailer to nearby	Before 5/3	To be mailed
municipalities within 1,000'		
for affected area		
Rezone and Comp Plan	Approx. 5/13/2025	TBD
Public Hearing at Common		
Council		
Common Council Final	Approx. 5/13/2025	TBD
Action on Rezone and		
Comp Plan		

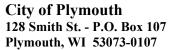


0 0.010.03 0.06 Miles

Split 2025-23 Sargento Merge Afft/Merge #2174471









Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

**DATE:** March 20, 2025

**TO:** Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

**RE**: Certified Survey Map Recommendation; Existing parcels with Tax-keys

59271821046 & 9271821047 for a new certified survey map creating 2 parcels of

25.089 acres and 6.875 acres. SCEDC (enclosure)

**Rezoning Petition Seeking Recommendation**; A petition to rezone 6.875 acres of land on the existing parcel with tax-key 9271821047. Property is currently zoned R-5 Traditional Neighborhood and seeking R-4 Multi-Family Residential

zoning district. Stroebel. (enclosure)

### **Background:**

As part of the SCEDC 94 lot residential subdivision project, they are also proposing split off 6.875 acres of land for a separate developer. The developer, Duey Stroebel, has included a concept map for the eventual build out of nine, four-unit senior condominium housing units (36 housing units in total). As part of the plan, Mr. Stroebel is seeking a rezone of the newly created 6.875 acre lot from R-5 traditional neighborhood to R-4 Multi Family Residential as the R-4 district supports this use.

### Comprehensive Plan / Rezoning Request:

The City's future land use map within the 2022 Comprehensive Plan identifies this area to be residential. As such, no comprehensive plan amendment would be required for this project. The CSM creates two conforming lots to City Code.

Mr. Stroebel has also applied to rezone the new 6.875 acre lot from R-5 to R-4 as the R-4 district allows multi-family developments. City staff reviewed the request and agreed it would be the correct zoning designation for this development.

### **Shoreland Zoning/Wetlands/Floodplain:**

A portion of both lots shows the existence of wetlands per Sheboygan County GIS. A full wetland delineation will be required prior to both the SCEDC project, as well as plans for the 6.875 acre development.

### **Condo Plat Process:**

As Mr. Stroebel has indicated he would like to develop the 6,875 acre lot into condominiums, the City's condo plat process must be followed. The Condo Plat process is regulated by Sec. 14-1-22 of the Plymouth Municipal Code. In short, the City only requires preliminary plat approval for condominium plats which is regulated through Sections 14-1-30 through 14-1-32 of the Plymouth Municipal Code. City staff recommends the applicant consult with these code sections as they consider moving forward with the condominium development.

### Access:

The condominium development is shown to have access on the future road for the SCEDC subdivision (no direct access off of Pleasant View Road). Final roadway and access designs will come before the Plan Commission for consideration when both SCEDC and Mr. Stroebel submit future plans.

### **Public Works/Plymouth Fire Department Review:**

As this portion of the project includes a simple lot line adjustment, no Fire Department or Public Works review is required. Once the developer comes back for final site plan review and approval by the Plan Commission, both the Fire Department and Department of Public Works will conduct a thorough review. Staff recommends the developer work with City staff as they continue to work on their final site plan.

### **Engineering Review:**

The CSM was sent to Jay Panetti at Gremmer Engineering for engineering review. Mr. Panetti has submitted a letter with minor corrections to be made to the CSM. All corrections are administrative and minor and should not preclude the Plan Commission from making a recommendation on this matter. City staff would request the applicant make the corrections and submit a fresh map for final review prior to action by the Common Council meeting.

### **TID #7**

The new 6.875 acre property off of Pleasant View Road is included in TID #7, created on September 24, 2024. TID #7 is a Mixed-Use District comprising approximately 246.47 acres in the eastern part of the City. As a mixed-use TID, no more than 35% of the district can consist of newly platted residential properties. This parcel was designated as a site for newly platted residential development in the TID #7 project plan. Therefore, residential development is permitted at this site without requiring an amendment to the TID project plan.

No development incentive is currently planned for this project in the TID #7 project plan. If a development incentive is requested, the developer must collaborate with City staff on a developer-paid pro forma review through Ehlers and enter into a development agreement. Approval of any such agreement is solely at the discretion of the Common Council and requires their review and approval. Additionally, any development incentive must satisfy the "but for" test, meaning the development would not occur—or not occur in a manner that serves the City's best interests—without the use of TIF.

### **Public Notices / Common Council Meeting:**

The certified survey map and rezone request both require Common Council action for final approval/denial. The rezone request also requires a public hearing and class 2 notice in the *Plymouth Review* prior to the public hearing.

### **Staff Recommendation:**

Staff requests the Plan Commission recommend approval of both the CSM (with corrections) and rezone request from R-5 to R-4 for the 6.875 acre parcel. These motions should be done via separate motions.

### **Copies Mailed/Emailed To:**

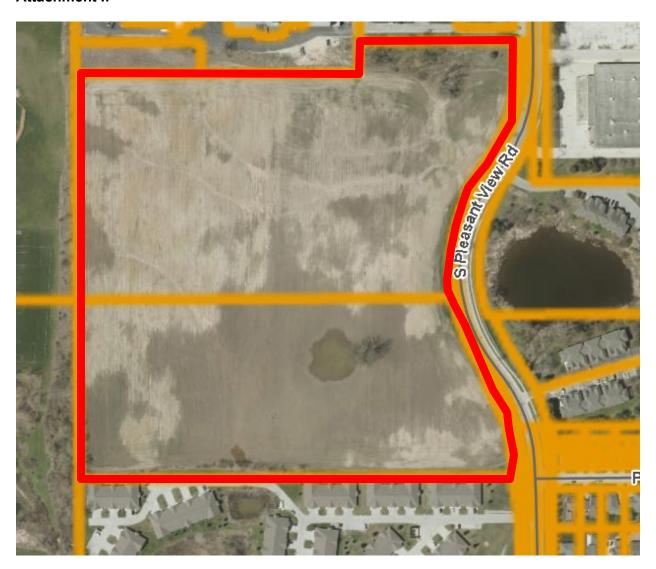
- I. Duey Stroebel: <a href="mailto:lakeshorecarpentry@gmail.com">lakeshorecarpentry@gmail.com</a>
- II. Brian Doudna, SCEDC: <a href="mailto:dstroebel@terrace-realty.com">dstroebel@terrace-realty.com</a>

# Attachments: I. GIS Map II. CSM

- II. III. Engineering Review Letter

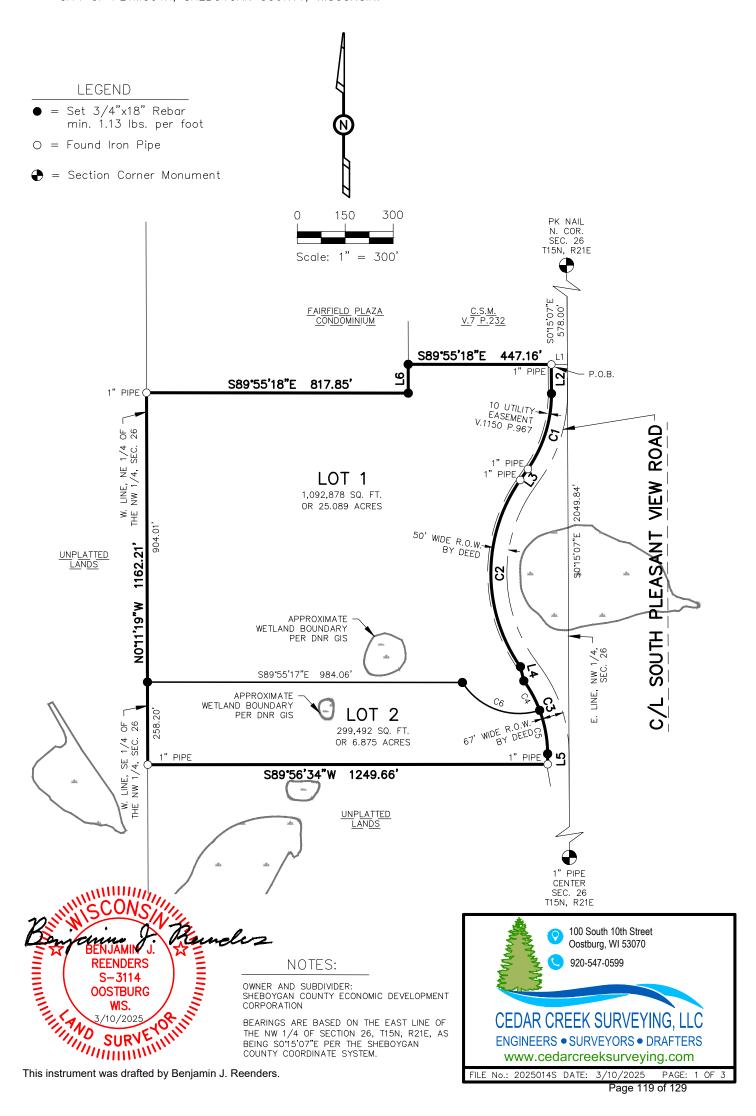
Action	Date	Status
Plan Commission Meeting	4/3/2025	This meeting
Rezone Public Notice in	4/11/2025;	To be Published
Plymouth Review	4/18/2025	
Common Council Meeting and Public Hearing;	4/26/2025	Upcoming
potential final action		

### Attachment I:



### CERTIFIED SURVEY MAP

PART OF THE NE 1/4 OF THE NW 1/4 AND THE SE 1/4 OF THE NW 1/4 OF SECTION 26, T15N, R21E, CITY OF PLYMOUTH, SHEBOYGAN COUNTY, WISCONSIN.



### CERTIFIED SURVEY MAP

PART OF THE NE 1/4 OF THE NW 1/4 AND THE SE 1/4 OF THE NW 1/4 OF SECTION 26, T15N, R21E, CITY OF PLYMOUTH, SHEBOYGAN COUNTY, WISCONSIN.

### SURVEYOR'S CERTIFICATE

I, Benjamin J. Reenders, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a part of the Northeast 1/4 of the Northwest 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 26, T15N, R21E, City of Plymouth, Sheboygan County, Wisconsin bounded and described as follows:

Commencing at the North 1/4 corner of said Section 26; thence S0°15'07"E 578.00 feet along the East line of said Northwest 1/4; thence N89°55'18"W 50.00 feet to the West right-of-way line of South Pleasant View Road and the POINT OF BEGINNING of this description; thence S0°15'07"E 90.86 feet along said West right-of-way line; thence Southerly 250.95 feet along said West right-of-way line on a 408.37 foot radius curve to the right, the chord of which bears S17°21'08"W 247.02 feet; thence S34°57'23"W 41.89 feet along said West right-of-way line; thence Southerly 621.44 feet along said West right-of-way line on a 508.37 foot radius curve to the left, the chord of which bears S0°03'48"E 583.47 feet; thence S13°22'18"E 45.28 feet along said West right-of-way line; thence Southeasterly 243.78 feet along said West right-of-way line on a 391.39 foot radius curve to the right, the chord of which bears S18°05'48"E 239.86 feet; thence S0°15'07"E 32.75 feet along said West right-of-way line; thence S89°56'34"W 1249.66 feet; thence N0°11'19"W 1162.21 feet along the West line of the Southeast 1/4 of the Northwest 1/4; thence S89°55'18"E 817.85 feet; thence N0°00'43"W 90.00 feet; thence S89°55'18"E 447.16 feet to the point of beginning.

This parcel contains 1,392,370 square feet or 31.964 acres.

That such map is a correct representation of the exterior boundaries of the land surveyed and the division thereof.

That I have fully complied with provisions of Section 236.34 of the Wisconsin Statutes and the subdivision regulation of the City of Plymouth in surveying, dividing and mapping the same.

Banjanin J. Reunglez Dated this 10th day of March . 2025
Benjamin J. Reenders PLS S-3114

Line Table				
Line #	Direction	Length		
L1	N89*55'18"W	50.00'		
L2	S0°15'07"E	90.86'		
L3	S34*57'23"W	41.89'		
L4	S13°22'18"E	45.28		
L5	S0°15'07"E	32.75'		
L6	N0*00'43"W	90.00'		

Curve Table					
Curve #	Delta	Arc	Radius	Bearing	Distance
C1	35°12'32"	250.95'	408.37	S17*21'08"W	247.02'
C2	70°02'23"	621.44	508.37	S0*03'48"E	583.47
С3	35*41'14"	243.78	391.39'	S18*05'48"E	239.86'
C4	15°21'10"	104.87	391.39'	S28*15'51"E	104.56
C5	20°20'05"	138.91	391.39'	S10°25'13"E	138.18'
C6	75 <b>°</b> 16'59"	275.93	210.00'	S70*11'06"E	256.50'



BENJAMIN J. REENDERS S-3114 OOSTBURG

SURVE SURVE

### CERTIFIED SURVEY MAP

PART OF THE NE 1/4 OF THE NW 1/4 AND THE SE 1/4 OF THE NW 1/4 OF SECTION 26, T15N, R21E, CITY OF PLYMOUTH, SHEBOYGAN COUNTY, WISCONSIN.

### **CORPORATE OWNERS CERTIFICATES**

Secretary:

Sheboygan Economic Development Corporation, described herein to be surveyed, divided, and maprequired to be submitted to the City of Plymouth for	pped as represented on this ma	
Brian Doudna, Executive Director	Dated	_, 2025
Brian Doudna, Executive Director		
CITY PLANNING COMMISSION APPROVAL CI	EDTIEICATE	
Resolved that the Certified Survey Map in the City the City of Plymouth.		ed by the Planning Commission of
on this day of	, 2025.	



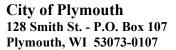
This instrument was drafted by Benjamin J. Reenders.



### Certified Survey Map for Sheboygan County Economic Development Corporation Preliminary CSM dated 3/10/2025 Certified Survey Map Review conducted 3/26/2025

The Chapter/Section numbers listed below refer to Wis. Stats. Chapter 236.34 and the City of Plymouth Code of Ordinances, Title 14 – Subdivision Regulations.

Ch./Sec.	<u>Comment</u>
236.34 (1m)(c)	The map shall be prepared in accordance with ss. 236.20 (2)(f) The exact width of all easements, streets and alleys.  Add the foot symbol to the 10' utility easement shown on Sheet 1.
	The map shall be prepared in accordance with ss. 236.20 (2)(k) All curved lines shall showthe central angle subtended.  The deltas for Curve C4 and C5 don't add up to the delta shown for Curve C6. Change the delta for Curve C4 to 15°21' <u>09</u> " on Sheet 2.
236.34 (1m)(d)(1.)	By whose direction the professional land surveyor made the survey, division, and map of the land described on the certified survey map.  Include the "by whose direction" information with the beginning portion of the Surveyor's Certificate on Sheet 2.
14-1-42 (c) (2)	Setbacks or building lines required by the common council and the city Zoning Code. On Sheet 1, list the setbacks according to the appropriate zoning for Lot 1 and Lot 2.
14-1-42 (c) (6)	Name and address of the owner, subdivider and surveyor. Add the address to the owner/subdivider name at the bottom of Sheet 1.
14-1-42 (c) (8)	Present zoning for the parcels. On Sheet 1, label the appropriate zoning for Lot 1 and Lot 2.
14-1-42 (e)	Certificates. The common council, after a recommendation by the reviewing agencies, shall certify its approval on the face of the map. Add a common council approval certificate to Sheet 3.





Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

DATE: March 27, 2025

TO: Plan Commission

FROM: Jack Johnston, Assistant City Administrator/Community Development Director

Tim Blakeslee, City Administrator/Utilities Manager

RE: Preliminary Plat Seeking Approval; Tax-key 59271821046 and a portion of

tax-key 59271821047(approximately 25.089 acres in total), regarding

consideration for a preliminary plat for a 94-lot residential subdivision in the R-5 Traditional Neighborhood District. Sheboygan County Economic Development

Corporation (enclosure)

### Background:

Sheboygan County Economic Development Corporation (SCEDC) has submitted a preliminary plat for a new 94 lot residential subdivision on the west side of Pleasant View Road directly north of the Briarwood Cottages. The homes will be single-family. The project site is currently made up of two parcels totaling ~32.86 acres. The subdivision project will total approximately 25.089 acres when completed. A separate 2-lot CSM is also being considered at the April Plan Commission. meeting to split off ~6.875 acres on the southern end of the property for another developer with intentions of constructing condominium units.

### Preliminary Plat vs Final Plat

Land divisions that create 5 or more new lots are considered major land divisions and are subject the preliminary and final plat process as dictated by Title 14, Chapter 1, Article D of the Plymouth Municipal Code. Land divisions of less than 5 lots can be accomplished though a certified survey map (CSM) and are held to different, less rigorous standards. As this plan calls for the eventual division into 94 residential lots, along with R-O-W dedication and out-lots, the preliminary plat process is the appropriate first step in this subdivision gaining approval.

The preliminary plat is the first step in the approval of a major land division. PMC 14-1-32(b) notes that the preliminary plat approval process is to be considered "an expression of approval or conditional approval of the layout submitted as a guide to the preparation of the final plat, which will be subject to further consideration by the plan commission and common council at the time of its submission." As such, final engineering documents, roadways designs, etc. are not required for the preliminary plat approval. If the preliminary plat is approved, the developer would then prepare and submit those necessary documents for consideration with the final plat at a future time.

<u>Comprehensive Plan/Zoning/Setbacks:</u>
The City's future land use map within the 2022 Comprehensive Plan identifies this area to be residential. As such, no comprehensive plan amendment would be required for this project.

The current parcels are both zoned R-5 traditional neighborhood. This district encourages smaller lot sizes (6000 square feet up to 0.75 acres) with greater flexibility in terms of building setbacks. Once completed, the development will be similar in feel to the Vintage neighborhood directly to the southeast of the property across Pleasant View Road. City staff conducted a review of all 94 proposed lots to ensure they are conforming to the R-5 district in regards to size, lot frontage, etc.

### Roadways/Right-of-Way Dedication:

The plan calls for the dedication of ~5.673 acres of land for public right-of-way. City code requires 60' R-O-W which are shown on the preliminary plat for all future roadways. Final roadway designs will be required to be submitted prior to final plat consideration. Those roadway designs and construction will be for the developer to complete. Both initial roadway designs and final construction will be reviewed by the City prior to considering accepting them as public improvements and must be design and built to City standard. The developer should work with the Department of Public Works to understand those requirements.

The proposal also includes the installation of sidewalks on both sides of the new roadways.

### Traffic:

Intersections between the new road in the subdivision (currently unnamed) and Pleasant View Road will be controlled by a one-way stop sign, allowing traffic on Pleasant View to continue uninterrupted.

Through project increment generation, estimated at \$26 million, this project will contribute to traffic improvements outlined in the TID #7 project plan. These include signal upgrades at Pleasant View/Eastern (signal timing study, control upgrades), Highland/Eastern (signal timing study, cabinet and traffic loop replacements, lighting, and electrical), and Eastern/Carr (signal installation).

Staff will continue to monitor traffic conditions to determine if any intermediate adjustments are necessary before the TID #7 projects are completed. Given the improvements this project will help support and because Pleasant View Road and Eastern Avenue is already a signalized intersection, Staff is not requiring a full Traffic Impact Analysis as part of the development agreement.

### **Stormwater/Erosion Control:**

Final stormwater/erosion control plans will have to be submitted with the final plat. Those documents will be reviewed and recommended for approval by City staff before consideration by the Plan Commission. The initial preliminary plat shows an out lot on the northeastern corner of the development that may be used to house stormwater.

### Parking:

City code requires at least 2 parking spaces per each dwelling unit. This would mean the property would need to be serviced by a minimum of 188 parking spaces. The applicant has indicated to staff that the units would be serviced by attached garages.

### **Shoreland Zoning/Wetlands/Floodplain:**

The area is not within City shoreland or floodplain areas. Two small wetland areas are shown on the project site per publicly available GIS data. One area is located on the majority of proposed lot 39. The other area is located off of the preliminary plat area on the property to be divided off. In any case, the City would require a full wetland delineation prior to final plat consideration.

### **Subdivision Name:**

The subdivision does not currently have a name. The developer will have to supply a name on the final plat map and related documents. The name must by unique to the City of Plymouth and any other Sheboygan County subdivisions.

### **Developers Agreement/TID #7**

The new 25.089 acre property off of Pleasant View Road is included in TID #7, created on September 24, 2024. TID #7 is a Mixed-Use District comprising approximately 246.47 acres in the eastern part of the City. As a mixed-use TID, no more than 35% of the district can consist of newly platted residential properties. This parcel was designated as a site for newly platted residential development in the TID #7 project plan. Therefore, residential development is permitted at this site without requiring an amendment to the TID project plan.

The City and the SCEDC has finalized a development agreement to build at least 90 single-family homes (with the current proposal at 94), with construction required to begin by June 30, 2026. The development is expected to generate \$26 million in new assessed valuation. The Common Council directed the use of \$2.0 million from the Housing Increment Fund (totaling about \$2.4 million) instead of a typical pay-go TID funding model to support the project. This approach allowed the SCEDC to apply for and receive a Wisconsin Housing and Economic Development Authority (WHEDA) loan through the state at a 1% interest rate. WHEDA does not allow funding from an active TID but permits funding from the Housing Increment Fund. The intent is for the Housing Increment Fund to be replenished by the new tax increment generated by the project within approximately eight to nine years.

### Public Works/Plymouth Fire Department Review:

DPW Director Austin has submitted a review letter showing the preliminary plat shows appropriate R-O-W dedications at 60'. Her letter also notes that the department has no objections to the consideration of approving the preliminary plat at this time, but does note final engineering reports and associated documents will be required to be submitted and reviewed by the City at the time of final plat consideration and approval by the City.

Plymouth Fire Department Chief Ryan Pafford has also supplied a staff report with no objections to the preliminary plat.

### **Final Plat/Next Steps**

As noted above, the developer will be required to submit the final plat for consideration along with the following documents as required by City code:

- Erosion control plans.
- Final street, plans.
- Final storm sewer plans.
- Final sanitary sewer plans.
- Final water plans.
- Final grading plans.
- Final park plans.
- Drainage flows.
- Groundwater presence.
- Public land dedications.
- All easements.
- Any changes from the preliminary plat

City staff may also request other relevant plans/documents for review along with the final plat material.

After those materials and the final plat are submitted, staff will review the materials for adherence to City code prior to brining the final plat forward for approval. City Code does not require the Common Council to consider and approve the preliminary plat. Final plat approval will have to go through both the Plan Commission and Common Council for approval, however.

### **Department of Administration Approval:**

The Wisconsin Department of Administration (DOA) will also be a reviewing body of the preliminary and final plat. The developer will have to work with the DOA to also obtain their approvals.

### **Staff Recommendation:**

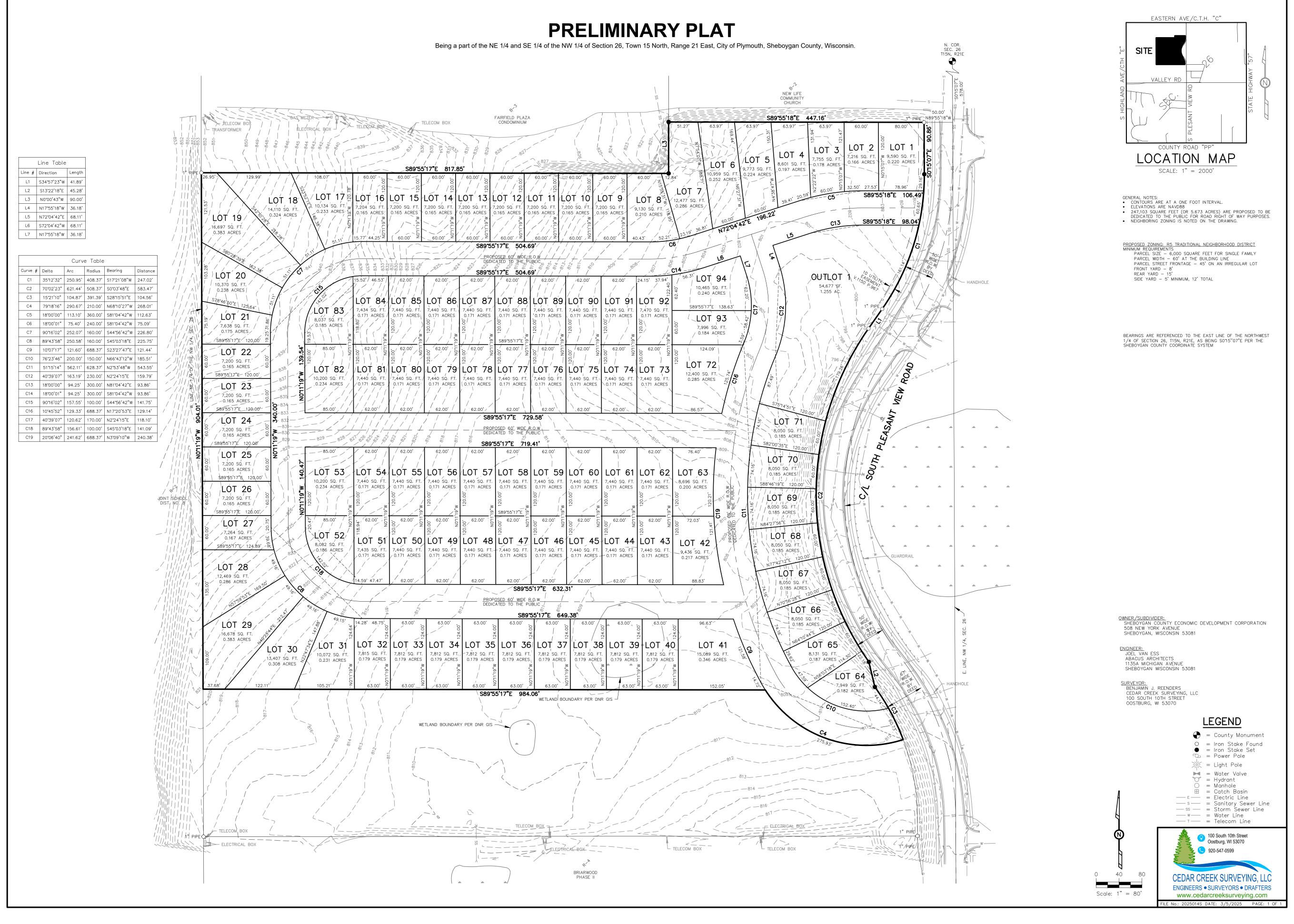
Staff recommends the Plan Commission consider approval of the preliminary plat. If approved, staff will work with the developer on necessary documents to be submitted along with any final plat alterations. Final plat approval will first be reviewed and recommended for approval by the Plan Commission will eventual final action by the Plymouth Common Council.

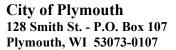
### **Copies Mailed/Emailed To:**

I. Brian Doudna: <a href="mailto:doudna@sheboygancountyedc.com">doudna@sheboygancountyedc.com</a>

### **Attachments:**

- I. Preliminary Plat Map
- II. Plymouth Fire Department and Public Works/City Engineer Review







Telephone: (920) 893-3745 Facsimile: (920) 893-0183 Web Site: plymouthgov.com

**DATE:** March 13, 2025

**TO:** Plan Commission

**FROM:** Cathy Austin, Director of Public Works

RE: Sheboygan County Economic Development Corp.

Preliminary Subdivision Plat - South Pleasant View Road

### **Public Works Review**

### Roadway Right-of-way:

- o The streets within the proposed subdivision will be considered *Local Streets*.
  - Municipal Code Section 14-1-70 indicates the following for Local Streets: Local streets. Streets designed primarily for access to abutting property and have a right-of-way width of not less than 60 feet and a pavement width of not less than 28 feet unless a greater pavement width is required by the plan commission or common council, together with curb and gutter of not less than 30 inches in width on each side.
- The proposed right-of-way width is 60-feet wide which meets code.

### Easements:

Utility easements shall be shown on the Final Subdivision Plat.

### • Final Engineering Plans/Reports/Specifications:

 No plans/reports/or specifications for the public improvements have been submitted for City review at this time.

### Recommendation

The Public Works Department has no objections to the approval of the preliminary plat with the following condition:

• Submission and approval from the Director of Public Woks on all Engineering Plans/Reports/and Specifications for the public improvements.

**MEMORANDUM** 

To: City Administrator Blakeslee, Assistant City Administrator Johnston, Members of the Plan Commission

From: Fire Chief Ryan Pafford

Date: 3/27/2025

Re: SCEDC Preliminary Plat Map

After reviewing and considering the proposed site plan for the SCEDC Neighborhood Development, the Plymouth Fire Department has no concerns with the current proposal. As a reminder, Fire Department access needs to abide by the following code reference from NFPA 1, Chapter 18, Fire Department Access and Water Supply;

18.2.3.2.2

Fire apparatus access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire apparatus access roads as measured by an approved route around the exterior of the building or facility.

18.2.3.5.1.1

Fire apparatus access roads shall have an unobstructed width of not less than 20 ft (6.1 m).

18.2.3.5.4 Dead Ends.

Dead-end fire apparatus access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.

If you have any other questions, please reach out.

920-893-3744

rpafford@plymouthfd.com

Sincerely,

Ryan Pafford, Chief

Plymouth Fire and Rescue